

TOWN OF CHESTERMERE

PROVINCE OF ALBERTA

BYLAW #032-13

A Bylaw of the Town of Chestermere, in the Province of Alberta, to provide for the adoption of the Waterbridge Master Area Structure Plan.

WHEREAS pursuant to the provisions of the Municipal Government Act, Chapter 26, revised Statutes of Alberta 2000, and amendments thereto, enables a municipal council to pass bylaws adopting area structure plans for the purpose of providing a framework for subsequent subdivision and development of an area of land.

WHEREAS The Council of the Town of Chestermere in the Province of Alberta (hereinafter called the Council) deems it desirable to adopt a Master Area Structure Plan;

WHEREAS A Master Area Structure Plan has been prepared by Brown & Associates Planning Group;

NOWTHEREFORE the Council hereby enacts as follows:

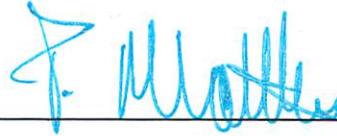
1. This Bylaw may be cited as the "Waterbridge Master Area Structure Plan".
2. The Waterbridge Master Area Structure Plan being Schedule "A" attached hereto and forming part of this Bylaw.
3. This Bylaw comes into full force and takes effect on the date of third and final reading.
4. **Severability**
 - (1) If any Section or parts of this Bylaw are found in any court of law to be illegal or beyond the power of Council to enact, such Section or parts shall be deemed to be severable and all other Section or parts of this Bylaw shall be deemed to be separate and independent there from and to be enacted as such.
5. **General**
 - (1) This bylaw shall take effect on the day which it is finally passed.

READ A FIRST TIME this 18th day of November, 2013.

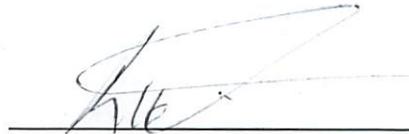
READ A SECOND TIME this 3rd day of February, 2014.

READ A THIRD TIME this 18th day of February, 2014.

Resolution Number – 3.19.021814 - 045-14

A handwritten signature in blue ink, appearing to be "J. M. Miller", written over a horizontal line.

MAYOR

A handwritten signature in black ink, appearing to be "H. E.", written over a horizontal line.

CAO

SCHEDULE "A"

Waterbridge Master Area Structure Plan

Version 6.0
February 2014



Waterbridge

MASTER AREA
STRUCTURE PLAN



Vaterbrüder



The Waterbridge Master Area Structure Plan has been prepared in two Parts.

Part 1: The Plan Evolution

Part 1 of the Waterbridge Master Area Structure Plan describes the evolution of the plan and the rationale behind the policy contained in Part 2: The Policy. Through this approach, it is anticipated that a better understanding of the Master ASP will emerge. Part 1 is not part of the Bylaw.

Part 2: The Policy

The policy begins in Part 2. This part makes up bylaw 032-13.

Note: All images shown in this Waterbridge Master Area Structure Plan are for illustrative/conceptual purposes only and are subject to change.

Table of Contents

Part 1: Evolution of the Plan.....	1
The Beginning	3
The Vision	4
The Evolution	4
The Master Plan Area and Land Ownership	5
Existing and Adjacent Land Uses	7
The Landscape tells a Story	9
What's under there? (Geology)	9
What's on top? (Topography)	10
Is anything growing? (Vegetation)	11
What about wetlands or streams? (Hydrology)	11
Should we conserve all the wetlands?	13
What must be considered for wetland conservation?	13
Stormwater, a Regional Constraint	13
Guidance from the MDP...	15
What are the solutions?	15
Offsetting Ecosystem Losses...	16
An EcoPark is born!	17
The evolution of a waterscaped community	17
Completing the community	18
How did we get there?	18
Planning for the future: Public transit service	18
Pedestrians and Bikes Matter to...	19
A Regional commercial centre with a pedestrian element	19
A new gateway: the mixed use corridor	21
New employment opportunities, a Business Park - in the North	21
Community-scale services and shopping	21
Neighbourhood-scale nodes	22
The house on our street...	22
Children are the future...	22
Where we meet, gather and celebrate	22
Extending urban infrastructure	24
Water works	24
Sanitary Sewer	24
Stormwater	24

Part 2: Waterbridge Master Area Structure Plan....	25
Preface.....	27
Stakeholder Engagement.....	30
1.0 Introduction.....	31
1.1 Title of the Plan	31
1.2 Purpose of the Plan	31
1.3 Authority of the Plan	31
1.4 Context of the Plan	32
1.5 Time frame of the Plan	32
1.6 Interpretation of the Plan	33
1.7 Amendment of the Plan	34
1.8 Consistency of the Plan	34
1.9 Monitoring of the Plan	34
2.0 Plan Area.....	35
2.1 Definition of Plan Area	35
2.2 Characteristics of Plan Area	35
3.0 Direction.....	37
3.1 Town Vision	37
3.2 Priorities for Sustainability	38
3.3 Land Use Framework	38
4.0 Vision.....	39
4.1 Strategies for Achieving the “Made in Chestermere” Vision for Waterbridge	41
5.0 The Communities of Waterbridge.....	43
5.1 Community Structure Map	43
5.2 Future Community Boundary Adjustments	45
5.3 Waterbridge Community Structure and Identity Policies	45
6.0 The Neighbourhoods within the Communities of Waterbridge.....	47
6.1 Neighbourhood Structure Map	47
6.2 Neighbourhood Structure Policies	49

7.0 The Waterbridge Land Use Concept.....	51
7.1 Land Use Concept Map	51
7.2 Policy Direction	51
8.0 Land Use Area Policies	53
8.1 Residential Area	53
8.2 Neighbourhood Nodes	54
8.3 Village Centres	57
8.4 Mixed Use Corridor	60
8.5 Town Centre	62
8.6 Business Park Area	66
8.7 School Sites	68
8.8 Recreation Centre	70
8.9 The Environmentally Sensitive Areas of Waterbridge	71
8.10 Major Waterbodies of Waterbridge	72
9.0 Density Policies.....	73
9.1 Residential Density	73
9.2 Housing Form	75
10.0 Reserve Policies.....	77
10.1 Credible Reserve	77
10.2 Environmental Reserve	79
11.0 Sustainable Development Policies.....	81
11.1 Sustainable Design	81
11.2 Sustainable Practices	83
12.0 Wetland Conservation Concept.....	85
12.1 Wetland Conservation Area Concept Map	85
12.2 Policy Direction	85
13.0 Wetland Policies.....	87
13.1 Wetland Conservation	87
13.2 Wetland Integration	90

14.0 Stormwater Management Concept.....	93
14.1 Stormwater Management Concept Map	93
14.2 Policy Direction	93
15.0 Stormwater Management Policies.....	95
15.1 Managing Stormwater	95
15.2 Stormwater Conveyance	97
15.3 Staged Stormwater Management Process	99
16.0 Transportation Concept.....	101
16.1 Transportation Network Concept Map	101
16.2 Policy Direction	101
17.0 Transportation Policies.....	103
17.1 Perimeter Grid Roads	103
17.2 Internal Road Layout	105
17.3 Pathway System	107
17.4 Public Transit	108
18.0 Water and Sewer Servicing Concept.....	109
18.1 Water and Sewer Servicing Concept Map	109
18.2 Policy Direction	109
19.0 Servicing Policies.....	111
19.1 Utility Infrastructure	111
19.2 Water Works	112
19.3 Sanitary Sewer	114
20.0 Implementation Policies.....	115
20.1 Staging of Urban Growth	115
21.0 Interpretation.....	121
21.1 General Definitions	121
21.2 Land Use Definitions	122



Waterbridge

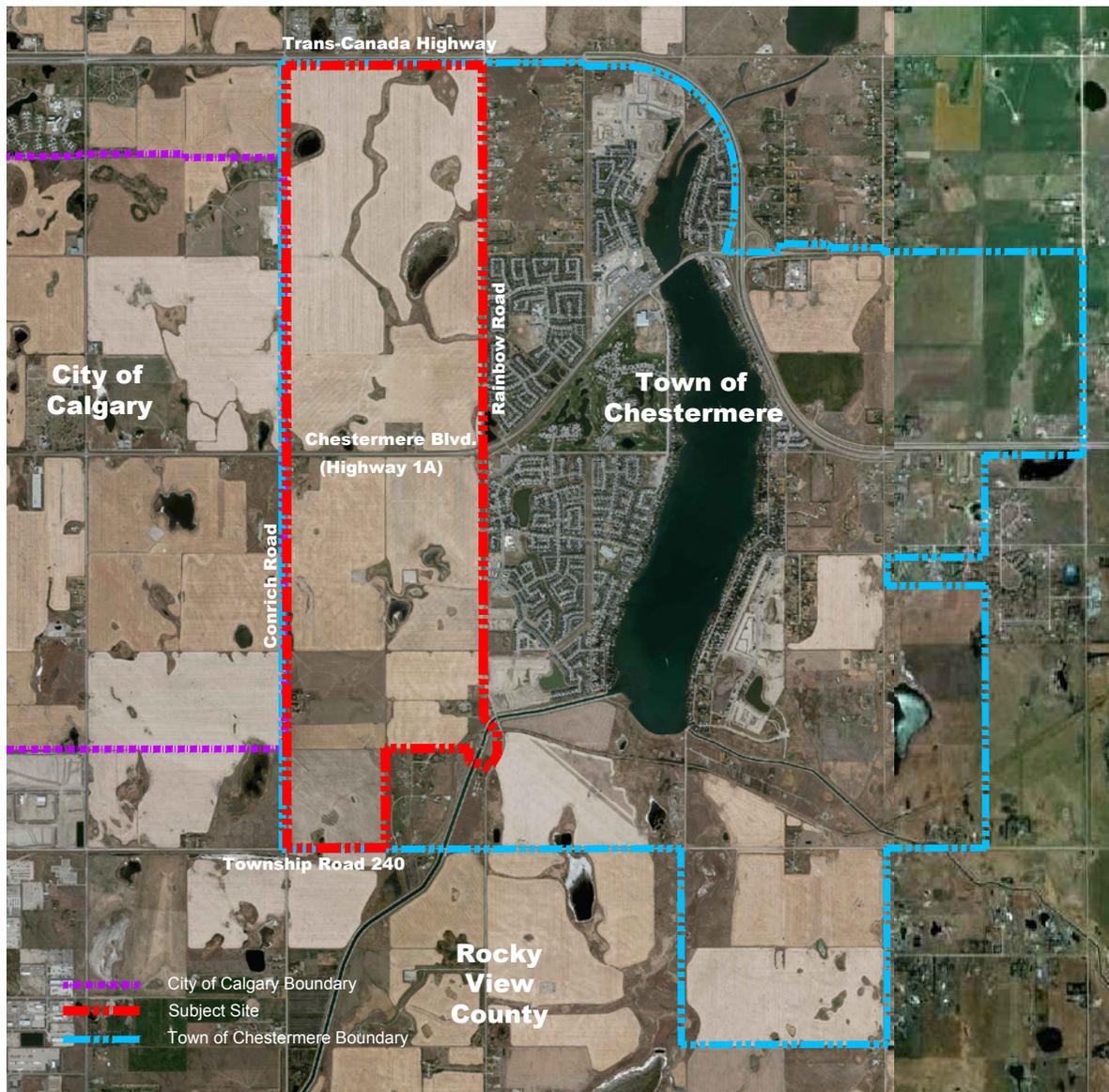
PART 1: EVOLUTION OF THE PLAN



The Beginning...

The Town of Chestermere annexed 2,400 acres of land on their west side in 2009 from Rocky View County. These annexed lands form a well-defined growth corridor located between the City of Calgary municipal boundary and existing development in the Town of Chestermere. The Town of Chestermere's 2009 MDP identified these lands for future urban development, envisioned primarily for residential uses with supporting regional commercial and business park/employment areas.

Location



The Vision...

“Waterbridge” represents a new urban residential growth area within the Town of Chestermere. Four distinct communities will be created within the Plan area, each community will include several neighbourhoods. Each community and its neighbourhoods will be known through a unique theme and identity in which future residents will see a reflection of Chestermere’s Vision as the recreation and relaxation oasis of Alberta. The MDP’s vision statement defines Chestermere as: A distinctive recreational lake community promoting a safe, family-oriented, sustainable environment. The Waterbridge Master Area Structure Plan will embrace this vision and build upon the vision’s goals.

The Evolution...

Part 1 of the Waterbridge Master Area Structure Plan explains the rationale behind the policy contained in Part 2. The purpose of Part 1: The Plan Evolution is to clearly describe the planning process undertaken that supports the foundation for the policy formulation. Through this layering approach, a better understanding of existing land use conditions will emerge.

The Plan Evolution consists of the following layers of information:

- Plan Context
- Physical Characteristics
- Stormwater Management
- Transportation Network
- Land Allocation
- Utility Services

The Implementation Process for the Waterbridge Master ASP is illustrated in the flowchart to the right, as a reference to how the rationale for the policy was developed.

Implementation Flowchart



The Master Plan Area and Land Ownership

The Master Plan Area is defined by the Trans-Canada Highway (Highway 1) and Rocky View County to the north; Conrich Road, Rocky View County and the City of Calgary to the west; Rainbow Road and built-up areas in Chestermere (including the Paradise Meadow acreage subdivision) to the east; and, Township Road 240, Township Road 240 and Rocky View County to the south.

The Master Plan area comprises approximately 971 hectares (2,400 acres) of land located in:

Section 21-24-28-W4M

Section 4-24-28-W4M

(excluding a portion of the section containing the Paradise Meadow acreage subdivision)

Section 16-24-28-W4M

Section 9 -24-28-W4M

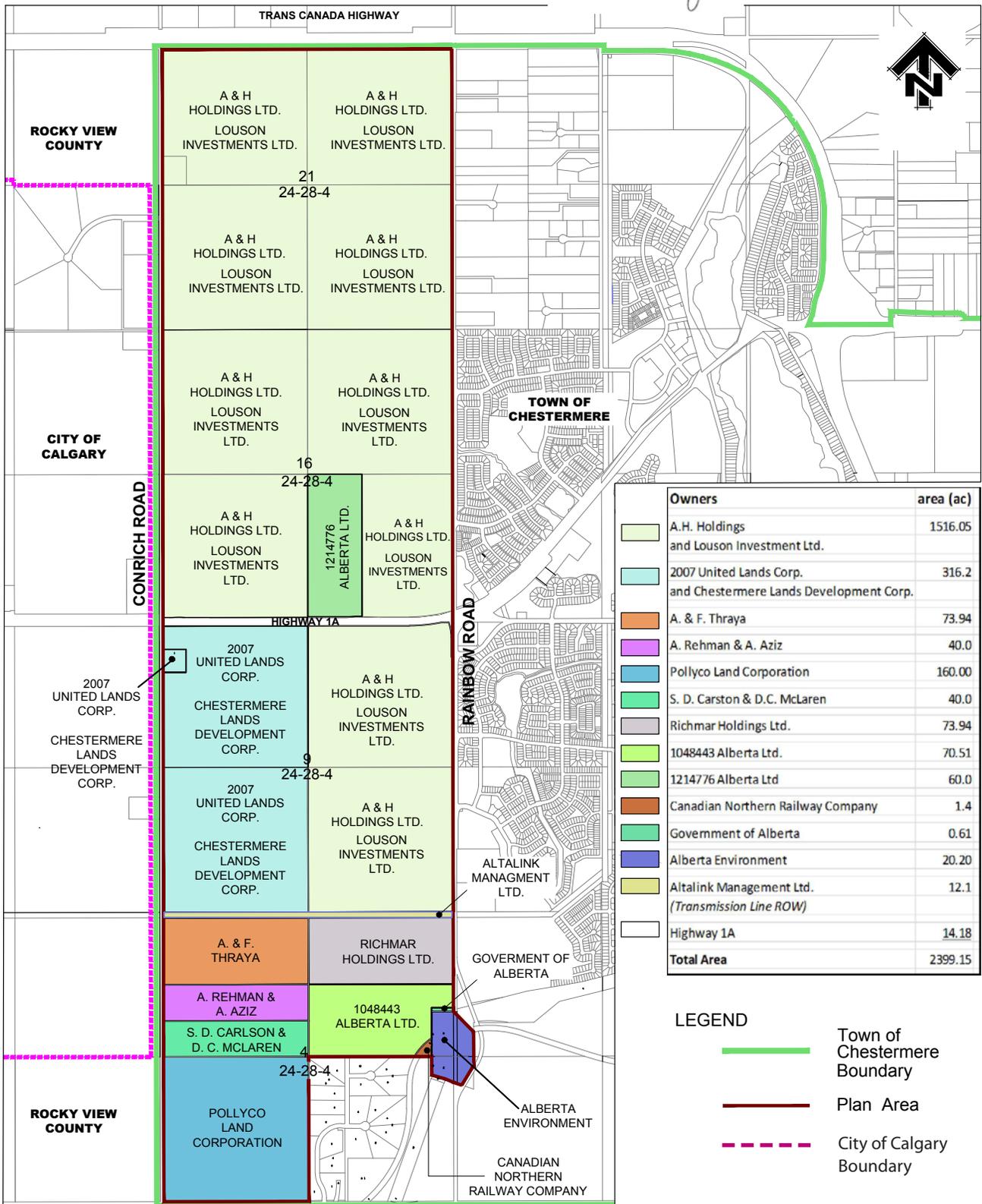
Parts of NW and NE 3-24-28-W4M

Ownership Landholdings

Landowner	Hectares	Acres
A & H Holdings Ltd. and Louson Investments Ltd.	613.32	1516.05
2007 United Lands Corp. and Chestermere Lands Development Corp.	126.34	312.20
2007 United Lands Corp. and Chestermere Lands Development Corp.	1.62	4.00
A & F Thraya	29.92	73.94
A. Rehman & A. Aziz	16.19	40.00
Pollyco Land Corporation	64.75	160.00
S.D. Carlson & D.C. McLaren	16.19	40.00
Richmar Holdings Ltd.	29.92	73.94
1048443 Alberta Ltd.	28.53	70.51
1214776 Alberta Ltd.	24.28	60.0
Canadian Northern Railway Company	0.57	1.40
Government of Alberta	0.25	0.61
Alberta Environment	8.17	20.20
Altalink Management Ltd.	4.90	12.10
Chestermere Boulevard	5.74	14.18
Total	970.90	2399.15



Ownership Map



Existing and Adjacent Land Uses

Currently lands within the Master Plan Area are used for agriculture, with five farmsteads present. There are also utility uses including two decommissioned gas wells and an AltaLink power line within the southern portion of the Plan Area.

Subsequent to the 2009 annexation, Chestermere's Land Use Bylaw designates virtually all lands within the Master ASP as Urban Transition (UT) District, which preserves land that is in an undeveloped state for urban development. Exceptions to the UT District areas are two small Large Lot Rural Residential (LLR) District parcels. These currently contain residential uses.

North of the Master Plan Area are lands within in Rocky View County. Today, this area supports a mix of existing agricultural and country residential land uses. Rocky View County has approved the Buffalo Hills Conceptual Scheme for over 500 acres of land located at the northeast corner of Highway 1 and Rainbow Road. The Buffalo Hills Conceptual Scheme allows for future development of a regional retail centre and 1,300 single-family and multi-family dwellings. Rocky View County is also preparing

a Conrich Area Structure Plan which will provide guidelines and policies for future development of a Conrich Growth Node to accommodate up to 10,000 people, and associated businesses with business-related land uses extending along Highway 1 to the west.

South of the Master Plan Area are also lands located in Rocky View County which are currently used for agriculture. The Rocky View/Calgary Draft Intermunicipal Development Plan identifies this land as part of a future industrial growth area within Rocky View County. Rocky View County is currently preparing the Janet Area Structure Plan to guide the growth and development of these lands.

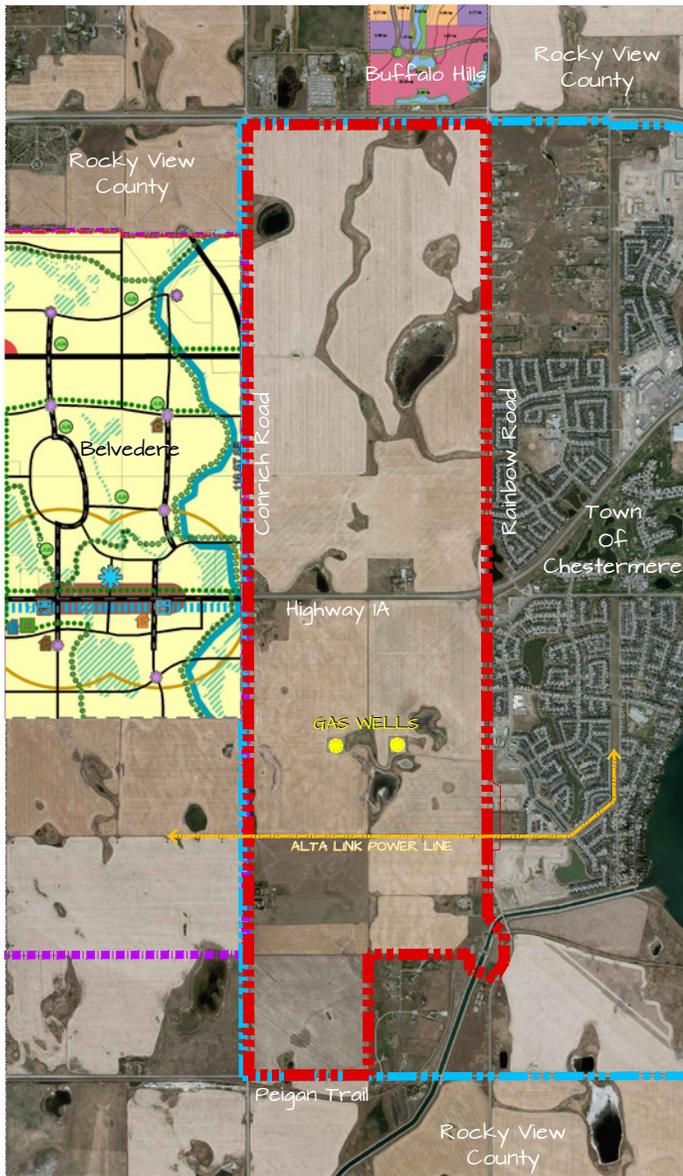
East of the Master Plan Area are the existing Chestermere urban residential neighbourhoods of Westmere, WestCreek and Rainbow Falls. Rainbow Road/Paradise Road country residential area is located immediately east of the Plan Area and immediately south of Highway 1. This area contains residential parcels that range from 2 to 20 acres in size.

Most of the area west of the Master Plan Area: is located within the City of Calgary. This land is currently in agricultural use but is planned for future urban residential development in accordance with the provisions of the Belvedere Area Structure Plan (2013). Two quarter sections are within Rocky View County and support existing agricultural and county residential uses.

The physical characteristics of the land guided the evolution of the Master Plan.



Plan Area in Context to Adjacent Planning Considerations



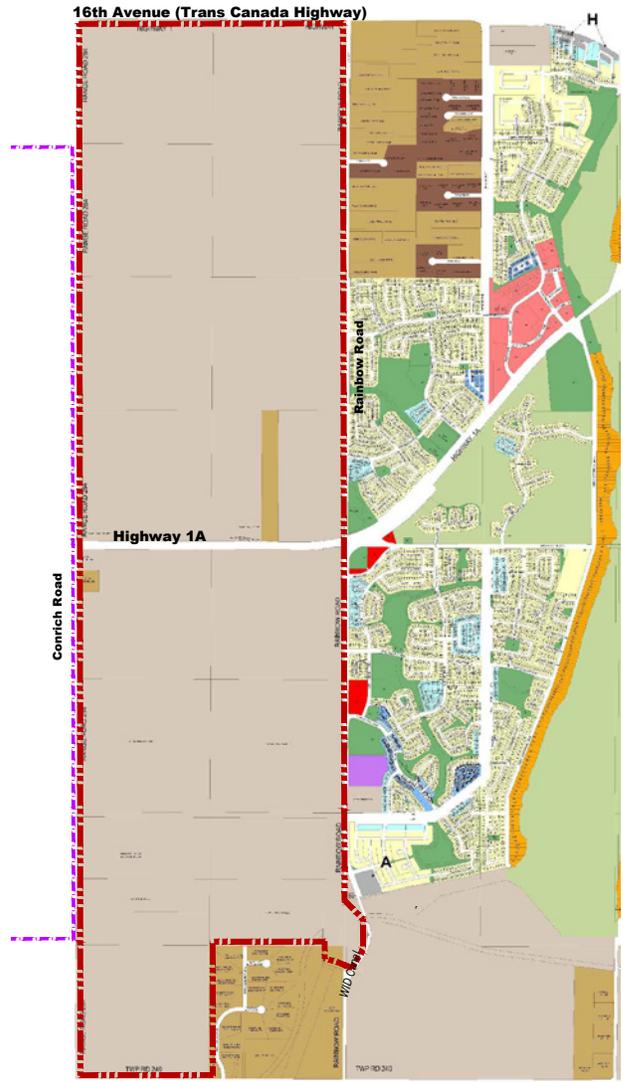
BELVEDERE ASP LEGEND

Legend	Transit Station Planning Area	Skeletal Road
City / Town / County Limits	Community Centre	Arterial Street
Transportation / Utility Corridor	Emergency Response Station	Urban Boulevard
Plan Area Boundary	Library	Neighbourhood Boulevard
Policy Review Area	Recreation Facility	Parkway
Neighbourhood Area	Community Activity Centre	Collector Road
Neighbourhood Area (Restricted)	Neighbourhood Activity Centre	Full Interchange
Community Retail 2 Centre	Joint Use Site	Overpass
Industrial - Employee Intensive	High School	Regional Pathway
Urban Corridor	Shepard Regional Drainage System (per 2011 AECOM Report)	Green Corridor
Super Regional Retail Centre		BRT Route
Cemetery		BRT Stop
Environmental Open Space Study Area		Park and Ride

BUFALLO HILLS LEGEND

LEGEND
CONCEPT PLAN BOUNDARY
FUTURE GRADE-SEPARATED INTERCHANGE
SINGLE FAMILY RESIDENTIAL
MULTI-FAMILY RESIDENTIAL
BUSINESS & COMMERCIAL
INSTITUTIONAL
PARKS, OPEN SPACE, & SCHOOLS
PUBLIC UTILITY LOT
STORMWATER PONDS
OFF-STREET TRAIL SYSTEM
R-1 - Residential Single Detached
R-1E - Residential Estate
R-1EM - Residential Estate Modified
R-1L - Residential Lakeshore
R-2 - Residential Semi-Detached
R-3 - Residential Multi-Unit
R-4 - Low Rise Multi-Unit
C - Local Commercial
TC - Town Centre
ETC - Eastern Town Centre
IC - Interim Commercial
MU - Mixed Use
BP LI - Business Park / Light Industrial
PS - Public Service
SPR - Special Recreation
UT - Urban Transition
LLR - Large Lot Rural Residential
RR - Rural Residential
DC - Direct Control

Existing Land Uses



The Landscape Tells a Story...

What's Under There? (Geology)

Waterbridge is located in the Delacour Plain. Within the area, the depth to the sedimentary bedrock is variable and can range from a few metres to potentially 18 metres. The bedrock geology underlying the area is thick bedded, calcareous, cherty sandstone accompanied by siltstone and mudstone of the Paskapoo Formation of the Tertiary/Upper Cretaceous age. These are predominantly flat lying, non-marine sediment rocks.

A geotechnical analysis was carried out by McIntosh Lalani Engineering Ltd. in November 2009 to assess the Master Plan Area's suitability for development for residential purposes.

Topographical gradients within the plan area are generally less than

15%, while some relatively shallow drainage ravines cut through the property. Overall, the lands do not consist of any significant slopes that would be considered a geotechnical concern. Slope gradients of the ravines and the large pond are 1.5 horizontal to 1 vertical, ranging from 3 metres to 6 metres in height. If left unmodified, these slopes would require a building setback from the top of the slope for permanent structures.

The geotechnical investigations concluded that the subject lands are suitable for development from a geotechnical point of view. However, McIntosh Lalani Engineering Ltd. recommends that a detailed slope stability assessment, together with a full geotechnical subsurface investigation be prepared for the ravine slopes at the Outline Plan stage.



Waterbridge

What's on Top? (Topography)

The Delacour Plain is a low relief till plain of gently undulating to undulating topography with sporadic depression areas. Slopes within the area are typically less than 5% with no slopes over 15%.

There are numerous low lying marshy areas throughout the Plan Area. The most noticeable feature consists of a low lying pond/marshy area in the southern half of Section 21, extending into the northern half of Section 16. This area contains standing water and is approximately 3 to 5 metres lower in elevation than the surrounding lands. Extending out from the northeast and corners of the pond are shallow ravines. Seasonal flows may be conveyed through these ravines. It appears that the reaches of the southern ravine have been excavated in the past years.

A shallow, overland drainage channel runs diagonally across the southwest corner of Section 9 and through Section 4. Surface runoff is expected to flow toward the low lying areas and to the ditches along the roadways, while the regional groundwater is expected to flow eastward toward the Chestermere townsite.



Is Anything Growing? (Vegetation)

The Master Plan Area is located in the northern portion of the Foothills Fescue Natural Sub-Region of the Grasslands Natural Region of Alberta. This sub-region is characterized by cultivated plains, with native habitats mainly restricted to small areas, including wetlands.

Native habitats in the surrounding region are fragmented and often isolated by critical distances from other native habitats. Native habitat connections and important wildlife corridors are not present in the Master Plan area because of the intensive land use within the plan area and the surrounding area. This habitat fragmentation is symptomatic of urban and rural agricultural environments, resulting in a gradual loss of biodiversity.

Remnant native habitats have been largely disturbed by heavy grazing by domestic livestock and by invasion of non-native vegetation. Linear disturbance, including roads, have further fragmented native habitats into smaller, isolated units. Areas that are not cultivated include farmyards, a small hay crop and pasture, shelterbelts, some wetland areas and two decommissioned gas well sites.

In the southwest corner of Section 9, a large stand of aspen 300 metres long and up to 50 metres wide, and about 30 years old, remains. Tall willows form an open shrub layer, especially on the west side where soil conditions appear to be wetter.

What about Wetlands or Streams? (Hydrology)

A seasonal stream is located in the northern portion of Waterbridge, and runs from the north boundary to the east boundary. Situated along the bottom of this drainage is a narrow channel that has been enhanced in the past through artificial ditching.

Several ponds are seasonal, and characterized by shallow, marshy vegetation in the central or deepest part of the pond. Seasonal ponds normally have open and standing water for extended periods in the spring and early summer but may become dry in late summer or fall.

A large wetland in the in the southern half of Section 21 consists of a low lying pond/marsh area, extending into the northern half of Section 16. The area presently consists of standing water and is approximately 3 to 5 metres lower in elevation than the surrounding lands. Extending out of the northeast and southeast corners of the pond areas are ravines. It appears that the reaches of the southern ravine have been excavated in recent years. Other high value wetlands are interspersed throughout Waterbridge, with a significant wetland complex situated in the central portion of Section 9.



Waterbridge



Environmentally Significant Areas



Slope Analysis

Should We Conserve All the Wetlands?

Waterbridge contains a number of watercourses and wetlands, together with associated upland, woodland and marsh areas; many of these are considered to be environmentally significant and suitable for conservation in an urban context. Biophysical Impact Assessments (BIAs) have been undertaken which identify a number of natural wetlands within Waterbridge. Some of these will be conserved or protected, and integrated into the Stormwater Management System.

The Town's comprehensive policy for wetland management will apply to the natural wetlands in Waterbridge.

What Must Be Considered for Wetland Conservation?

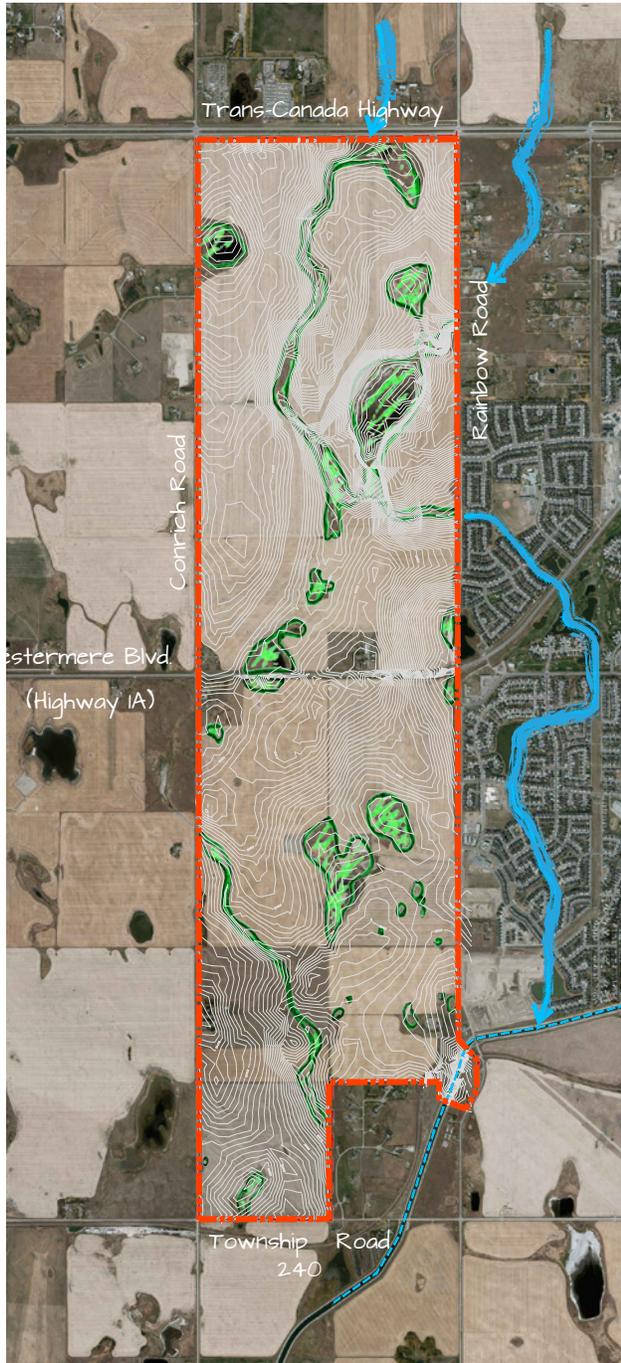
Wetland mitigation deals with how wetlands will be impacted by the urban development of the lands around them and the manner in which they can/will be integrated into the stormwater drainage system. This integrative approach will emphasize the conservation of natural wetlands, while recognizing that engineering solutions and reconstructive measures are integral to achieving the long term sustainability and function of a wetland. Moreover, a variety of options can be introduced depending upon the situation to protect and enhance wetlands. Compensation, by the developer, shall be provided when appropriate, consistent with the Alberta and Town of Chestermere Wetland Policies. The means to achieve this integration is through a Wetland Mitigation Plan. This plan will address the manner in which wetlands will be integrated into the stormwater drainage system, the method of enhancement and restoration of wetlands and the approach to wetland compensation. The Wetland Mitigation Plan will be provided at the Outline Plan stage.

Stormwater, a Regional Constraint

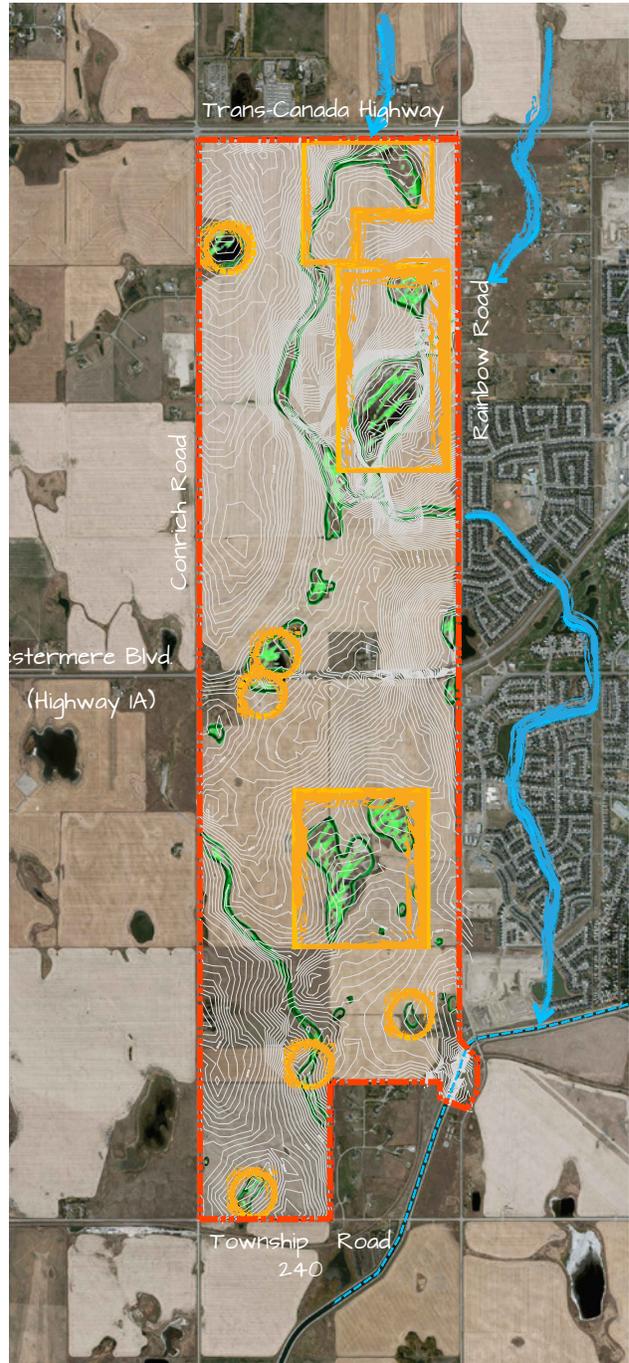
The Waterbridge Master Plan Area falls within a regional area that is under pressure to find a solution to stormwater management. Large flows from the north, from approximately 2,300 - 2,600 hectares of land, enter the Master Plan Area. This external runoff drains to a large wetland and then slowly discharges through the Town of Chestermere and out-falls into Chestermere Lake and the Western Irrigation District (WID) canal system. WID has created strict stormwater quality regulations to prevent the release of nutrients and pollutants such as phosphorous from entering the canal system. Further to this, the WID and the Town of Chestermere have an agreement which states that untreated runoff from developed areas beyond the 2004 Town boundary are not to enter Chestermere Lake. This agreement states that pre-development stormwater drainage can continue to flow through historical drainage courses, but post-development stormwater drainage must either be



Significant Drainage Courses Entering and Exiting the Plan



Wetlands and Natural Stormwater Management Features



pre-treated to WID stormwater quality standards or utilize another stormwater management solution.

Guidance from the MDP

Chestermere's MDP states that stormwater discharge from the Master Plan area "will need to flow to the south through the City of Calgary's Shepard Slough Stormwater management System and to the Bow River. This will be achieved via natural or man-made channels or a piped storm trunk to allow the flows to pass under the WH canal" (MDP Section 4.2, pg.24). This aligns with the Shepard Regional Drainage Plan (SRDP) and is the guiding principle for the visioning of stormwater management for Waterbridge.

Chestermere MDP stormwater management goals and policies:

- the Town's environmental footprint should be reduced through stormwater best management practices (BMP's) and low impact development (LID) measures. (MDP Section 2.11, pg.6);
- To use low impact development stormwater management techniques and conservation of significant natural wetlands and drainage channels through incorporation into parks systems or stormwater management systems (MDP Goal 18, pg.10);

- Natural drainage courses within the Town should be protected wherever possible as a means of managing stormwater within the region as a whole. (MDP Section 4.2, pg.24);
- Stormwater management facilities including wet ponds, constructed wetlands or natural wetlands will be incorporated into the drainage system for stormwater storage and treatment purposes. (MDP Policy 4.2.4, pg.24).

In summary, Chestermere's MDP envisions a low impact stormwater drainage system that emphasizes the employment of a "natural treatment train" consisting of naturalized and constructed wetlands, watercourses, developed conveyance channels and similar measures to facilitate drainage to and from the various storage and treatment facilities.

So...What are the Solutions?

The Conceptual Stormwater and Environmental Considerations Leading Towards the Sustainable Management of Stormwater Report (Westhoff) identifies four constraints for stormwater discharge:

- Stormwater flows generated in Waterbridge should not be discharged in Chestermere Lake, West Creek Basin or the WH Canal (unless treated).
- The Shepard Regional Drainage Plan provides for a long term solution that introduces uncertain financial and technical issues that need to be resolved.
- The Town should rely on a "zero discharge" scenario until alternative options for stormwater discharge become operational.
- Discharge into the WID Canal will require the treatment of stormwater.



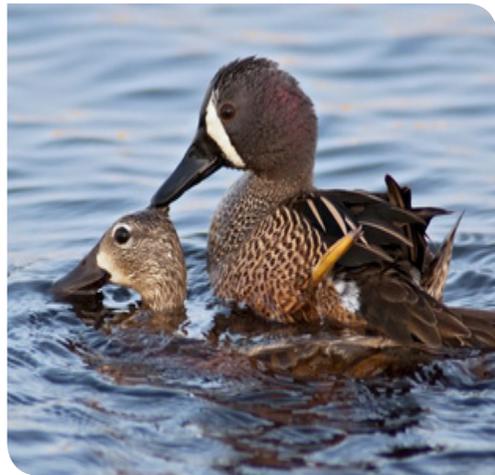
Chestermere's long term stormwater solution is currently anticipated to be the Shepard Regional Drainage Plan, which is under discussion and review with Regional partners. Thus, Chestermere requires short term options during this transition period that can still be utilized for the long term solution. These short term options include holding the stormwater on-site and use it for irrigation, or treat it to an acceptable standard that it can be discharged into the WID canal system.

Offsetting Ecosystem Losses

Utilizing the north wetland for stormwater management may alter the ecological condition of that wetland, but the effects could be mitigated through monitoring water quality and replanting of wetland materials along the edges of the stormwater management wetland to help maintain the ecological value.

To balance any ecological and habitat losses around the north wetland, other wetlands within the Waterbridge Master Plan Area were reviewed for significance potential. An important factor that was considered when reviewing the future of the north wetland was the significant amount of water that flows into that wetland from the north, and also what is currently allowed to discharge to Chestermere Lake. Urban development surrounding the north wetland, as well as the approved future industrial/highway commercial development in Buffalo Hills to the north (in Rocky View County) will have a major impact on the watershed supplying the wetland. The future is somewhat unknown and not completely within the control of the Town.

In the early stages of planning a group of wetlands within the south portion of the Master Plan Area were identified as a good potential for enhancement and conservation. This group of wetlands has been disturbed through agricultural activities over the past few decades, but they still remain significant due to their size and proximity to each other. The uplands for these wetlands are within the Master Plan Area; therefore they are more likely to survive in the long term urban environment with the proper integration with the stormwater management system.



An EcoPark is born!

A vision for environmental stewardship began...a group of wetlands that have been impacted by agricultural activities for a number of decades can be reclaimed, enhanced and protected to become a significant wetland complex, an EcoPark. Integrated into the landscape with storytelling 'interpretive boards' that can be used as information and educational opportunities for Chestermere residents. Interpretive boards will illustrate how wetlands are integrated in urban environments and how they can be reclaimed and enhanced. Low impact pathways and trails, and a gazebo for an outdoor classroom will allow residents and students to gain access to the wetland complex, to learn about the EcoPark and help facilitate its survival. The EcoPark will be a significant, unique feature in the landscape and a 'made in Chestermere' amenity for the Town and provide regional interest.

Conceptual Plan of the EcoPark



The Evolution of a Waterscaped Community

The ultimate vision for the Waterbridge low impact stormwater drainage system is to provide active and passive recreational opportunities that use a combination of the wetlands, stormwater management ponds,

and overland drainage canals as a connectivity feature for the community. This will be achieved by linking the stormwater management system with linear park and pathway elements to create an interconnected pedestrian and cycling corridor that extends throughout Waterbridge. The vision is to take advantage of the unique recreational benefits provided by the overland stormwater management system to create a waterscaped community.



Completing the Community...

Once the topography, ecology and stormwater management constraints were layered to form a plan, other urban development factors needed to be layered to identify constraints and opportunities. The land use pattern for Waterbridge is composed of eight different elements: neighbourhood nodes, village centres, a town centre, a business park, schools, recreation facilities and community centres.

How do we get there?

The regional road network that surrounds the Waterbridge Master Plan area comprises highways and major roads that border and bisect the Plan area. These roads include: the TransCanada Highway (Highway 1), Future extension of Memorial Drive, Chestermere Boulevard (Highway 1A), Township Road 240, Conrich Road, Rainbow Road. The names of these roads as they are extended into Waterbridge from the City of Calgary will be determined by the Town.

Road networks within the Waterbridge Master Plan area are comprised of arterial grid roads and internal collector roads that connect with existing Town roads and future adjacent City of Calgary roads. Local roads will be determined at the Outline Plan stage.

At the ASP stage, the internal collector road network comprising the collector and major stub roads located within the communities will be determined. These roads should be designed to facilitate vehicle, transit, pedestrian and bicycle movements, achieve connectivity throughout the neighbourhood and create a high quality, livable neighbourhood environment.



Planning for the Future: Public Transit Service

In the future, Public transit service may consist of primary transit service (i.e. bus rapid transit/ regional transit) and secondary transit service (bus transit service).

Regional transit service is anticipated to be extended along Chestermere Boulevard from the City of Calgary, and is proposed to take the form of express or BRT service. The alignment of the future BRT line along Chestermere Boulevard will conform to the Chestermere Boulevard Corridor Study.

As identified in the MDP, a transit station may be located on the edge of the Waterbridge Town Centre to serve as a connection hub between the future feeder transit bus routes serving both Waterbridge and the balance of the Town, as well as the BRT service between the Town and the City of Calgary.

Future local feeder transit buses may circulate throughout the communities, providing transit service for residents. The timing of the introduction of transit service will be determined by the Town based upon the rate of population growth and the level of resident demand.

Pedestrians and Bikes Matter Too

The pathway system in Waterbridge comprises both regional and local pathways. Regional pathways are identified in the Master ASP, and local pathways will be identified at the Outline Plan stage.

A regional pathway system extends throughout the area and is aligned to ensure a strong and direct connection along the north/south open space corridor that extends throughout the area and with the existing Chestermere communities to the east.

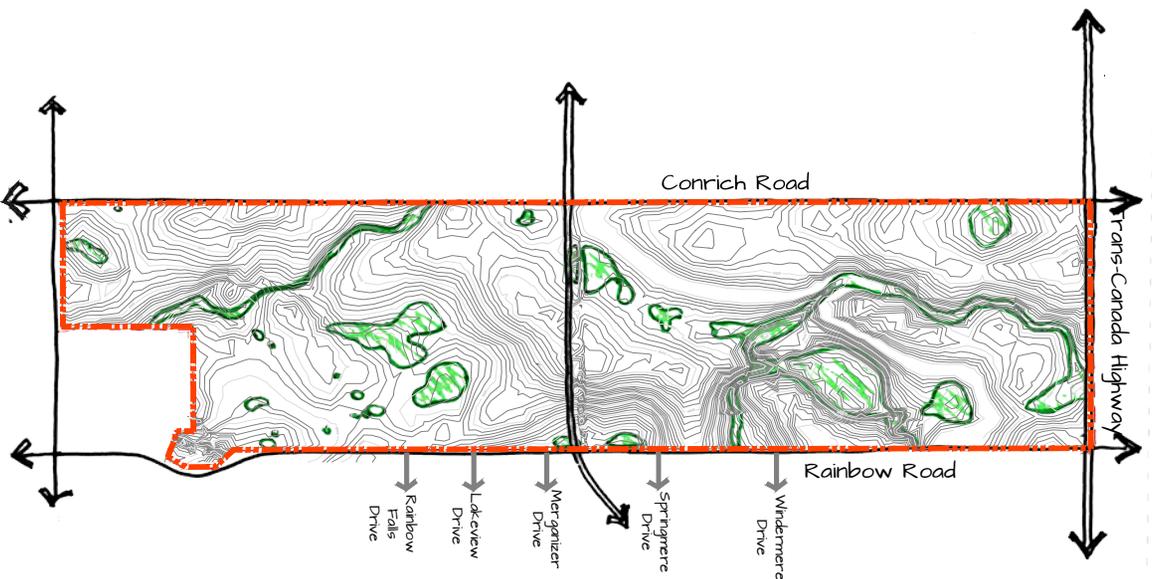
Local pathway systems will need to be defined at the Outline Plan stage but will be aligned to provide for pedestrian connectivity to major recreation features, wetlands and park spaces, and to reinforce passive and active recreational activities in these areas.

A Regional Commercial Centre with a Pedestrian Element: The Town Centre

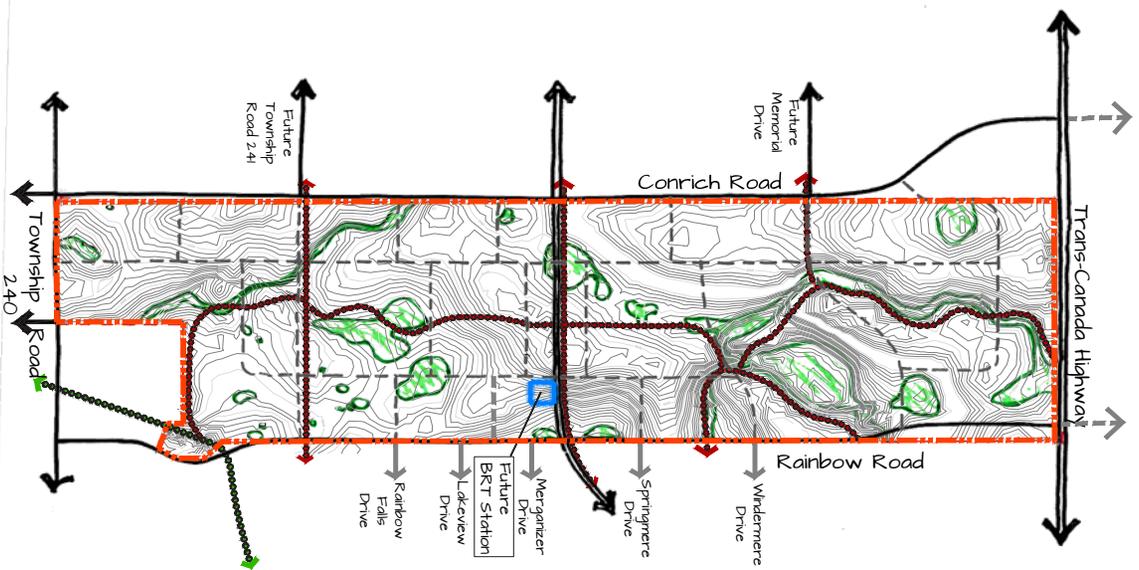
Characterized by a pedestrian oriented main-street area offering a unique shopping and entertainment experience for residents, the Town Centre will serve as a multi-functional shopping, living and employment focus for Waterbridge. Chestermere Boulevard will be the heart of the Town Centre and will provide a gateway for the Town. A general commercial area containing medium format retail stores will surround the main street and create a regional commercial draw. Adjacent to the Town Centre site is a wetland that will be incorporated into the Town Centre and become a feature providing year-round amenities to the area. At the Outline Plan stage, the planning and design work for the Town Centre will be accomplished, which will provide a specific development concept for the centre.



*Existing Surrounding
Regional Transportation
Network*



*Future Regional Network
within the Internal Arterial and
Collector Connections*



A New Gateway: the Mixed Use Corridor

Chestermere Boulevard, formerly known as Highway 1A, is a significant community corridor and serves as a gateway into Chestermere. This new gateway will consist of an entrance feature at the west terminus, as well as special architectural controls, landscape and design features to create a unique and distinct arrival into Chestermere. The Mixed Use Corridor will accommodate a variety of types of residential development along Chestermere Boulevard, on either side of the Town Centre. Commercial, institutional, recreational and similar uses that complement the corridor will also be accommodated.

New Employment Opportunities, a Business Park - In the North

The Business Park will accommodate office, light industrial and other employment generating uses within a comprehensively developed park format. In addition, services and amenities that cater to employees and secondary commercial uses will be integrated into the land use mix. The Business Park will provide employment opportunities for both the residents of Waterbridge, and the Town. Including these land uses within the Waterbridge Master ASP will assist in enhancing the Town's non-residential tax base. The location of the Business Park will be highly visible from the TransCanada Highway. Access will be gained from the new interchanges to be constructed at Rainbow and Conrich Roads. The amount of land set aside for the Business Park recognizes the Town's future needs while balancing market conditions.

Community-Scale Services and Shopping

Two Village Centres are identified in the MDP to serve as shopping, living and employment hubs for the north and southern parts of Waterbridge. Village Centres will be located along collector roads to provide connectivity to their respective communities. Village Centres will contain local commercial development and mixed use sites reflecting the theme of the community. Regional pathway connections with the surrounding community will connect to these centres.



Neighbourhood-Scale Nodes

Neighbourhood Nodes are smaller in scale than a Village or Town Centre and provide social interaction and focal point for the surrounding neighbourhood. Neighbourhood nodes reflect the small town recreational character of Chestermere and are comprised of a mix of residential and non-residential uses situated around a central park or plaza. Connectivity between the node and the balance of the neighbourhood will be achieved through roads, pathways and sidewalks. The Waterbridge concept identifies between six and eight neighbourhood nodes.

The House on our Street...

Residential areas in Waterbridge will reflect the low density character of existing residential communities in Chestermere to capture the small town character. Through architecture guidelines and programmed public areas a sense of place will be developed that reflects a “made in Chestermere” vision. Housing types will be predominantly single-detached homes with pockets of semi-detached housing, townhouses and low rise apartments that centre around Neighbourhood Nodes and Village Centres. Residential development will reflect the small town recreation oriented character of Chestermere.

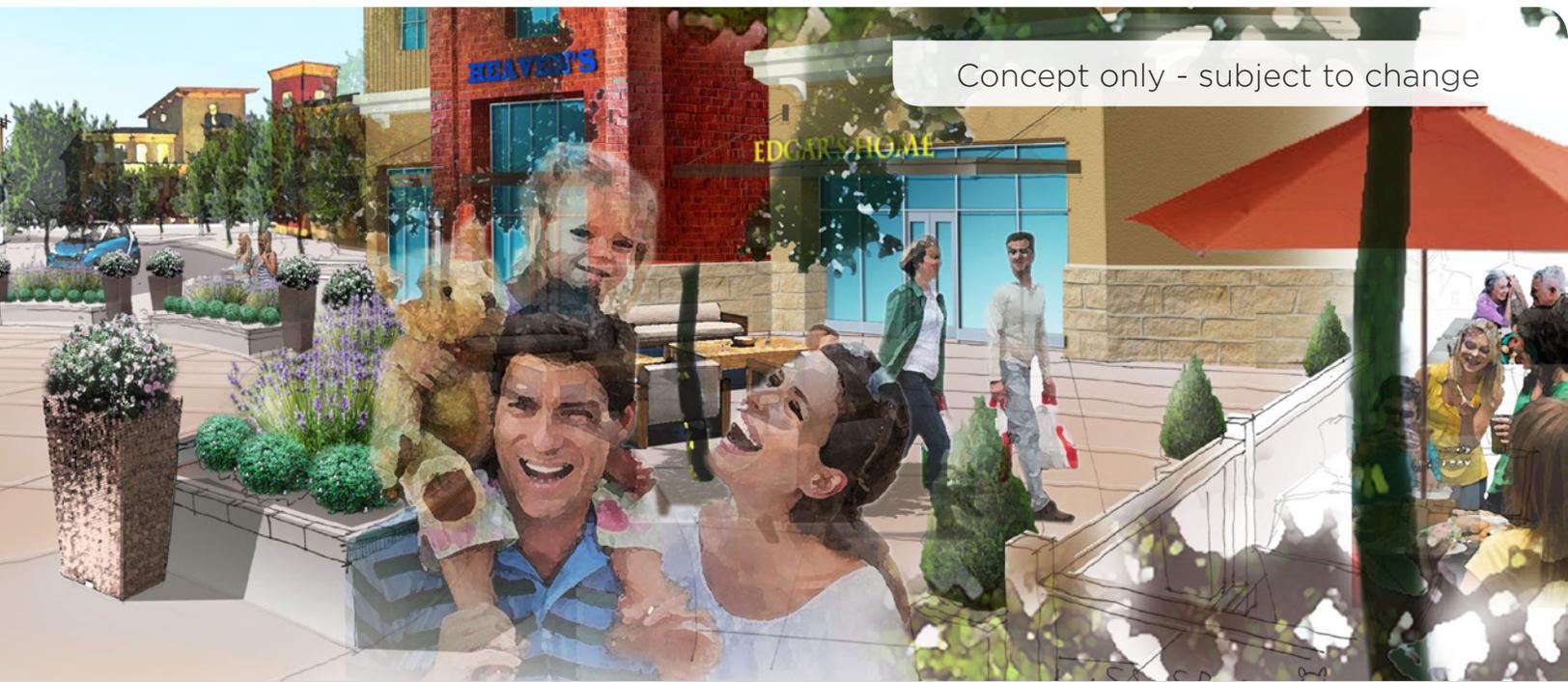
Children are the Future...

A variety of school sites will be provided to accommodate both separate and public elementary and middle schools,

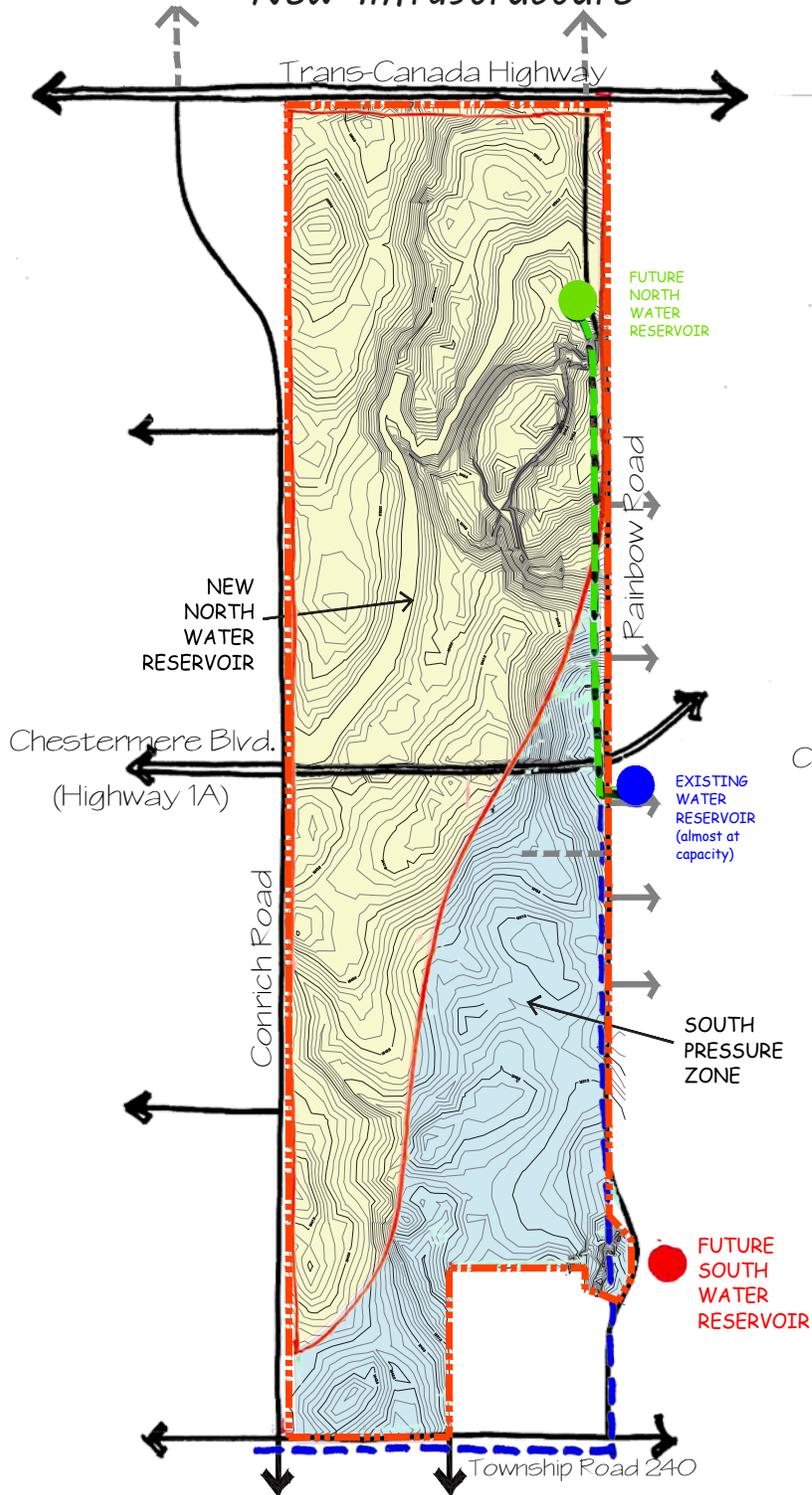
together with a public high school. Through consultation with the school boards that service Chestermere, a number of school sites have been identified to serve the Master Plan area.

Where we meet, gather and celebrate...

The Master ASP will include a site for a Recreation Centre and two potential Community Centre sites. Envision a Recreation Centre that could be developed in conjunction with the high school to serve the active recreational needs of Waterbridge and the Town. Such a combination of a Recreation and High School will create an activity focus for the southern end of the Town Centre. It is anticipated that two community centre sites will be required: one serving the northern Communities and one serving the southern Communities.

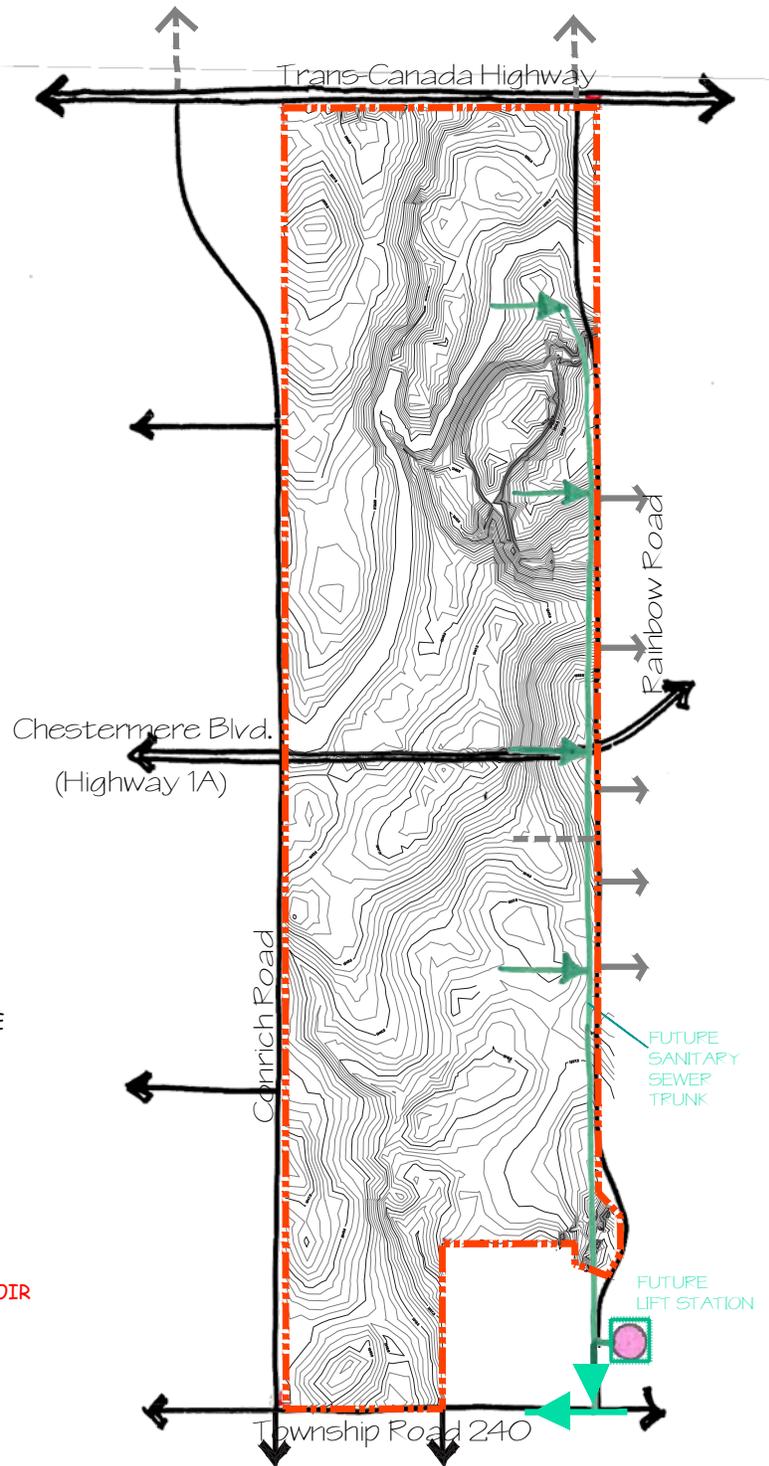


Water Pressure Zones and New Infrastructure



Note: Contour Intervals = 0.5m

New Sanitary Sewer Trunk and Lift Station



Note: Contour Intervals = 0.5m



Extending Infrastructure

Utility servicing systems for Waterbridge are comprised of the waterworks, sanitary sewer, stormwater systems and shallow Utility. Chestermere has a long term master servicing plan and budgets which form part of the infrastructure plan for Waterbridge.

Waterworks

The existing water supply for the Town of Chestermere is provided from one pressure zone, with the municipal reservoir served by a feeder main from the City of Calgary. The capacity of this existing reservoir and water distribution system is limited for future development. Therefore two future reservoirs have been identified to serve the area. Detailed engineering will determine the exact boundaries of the pressure zones and associated water distribution systems.

Sanitary Sewer

Existing sanitary sewer services for the Town consist of a lift station (Lift Station 10) located adjacent to Chestermere Boulevard, east of Waterbridge, and a sewer force main connection to the City of Calgary. The Town will be served by a new lift station (Lift Station 13) to be situated adjacent to the southeast end of Waterbridge, and a new force main connection to Calgary. The new lift station and force main will ultimately serve the entire Town, including Waterbridge.

Stormwater

Stormwater management is a significant foundation of the Waterbridge Master ASP. The evolution of the stormwater management system brought forth the waterscaped vision of Waterbridge and brings to life the recreation oriented vision of the MDP. The Town's Master Drainage Plan will inform the Waterbridge stormwater management system. A low impact solution to stormwater management will be established in Waterbridge.





Waterbridge

PART 2: WATERBRIDGE MASTER AREA STRUCTURE PLAN



Preface

“Waterbridge” represents a future growth area forming the western gateway for the Town of Chestermere. The area comprises approximately 970 hectares (2,400 acres) of land and will accommodate a projected population of 46,333 residents living in four communities, together with a business park at its north end along the Trans-Canada Highway and a town centre located central to the area along Chestermere Boulevard.

The Town of Chestermere Municipal Development Plan requires the preparation of a Master Area Structure Plan (Master ASP) as the initial step in the planning of future growth areas. Accordingly, this Master ASP has been formulated for Waterbridge and will be adopted by Council. The preparation of the Master ASP involved meetings with landowners, completion of special engineering, transportation, environmental and planning studies and input from the Town administration, Provincial

A Master Area Structure Plan will highlight significant development considerations such as establish a generalized mix of land uses, servicing, stormwater management, major transportation network, major parks and open space concepts, and phasing. (MDP 3.2.1b)

departments, school boards and other interested parties. A formal public hearing will be held in accordance with the Municipal Government Act prior to the adoption of the Master ASP by bylaw.

The Master ASP provides a “blueprint” to guide the preparation of more detailed Area Structure Plans for the residential neighbourhoods, town centre, and business park that together make up Waterbridge. The foundation of the Master ASP rests upon the development of a distinctive, sustainable and recreational-based area – a vision that the Town of Chestermere strives to achieve.



This vision is, in turn, refined through the following goals contained in the Master ASP:

- **Creating attractive and prosperous communities;**
- **Accommodating local employment opportunities;**
- **Create a vital and successful town centre;**
- **Fostering a sense of neighbourhood;**
- **Meeting active and passive recreational needs;**
- **Providing necessary educational facilities;**
- **Ensuring desired public services and amenities;**
- **Conserving wetlands and other natural areas;**
- **Encouraging walking and cycling;**
- **Developing an interconnected road network;**
- **Promoting public transit use;**
- **Introducing low impact stormwater management techniques;**
- **Supplying essential utility services.**

These goals will be achieved through the concept maps, policy statements and implementation actions that comprise the balance of the Waterbridge Master ASP.



Waterbridge





Stakeholder Engagement

Thank you to each of the stakeholders who have been engaged during the preparation of the Waterbridge Master Area Structure Plan:

The Mayor of Chestermere and Council Members

Mayor Matthews, Councillors Johnson, Bergen, Davies, Steeves, Hutchison

Town of Chestermere Administration

Randy Patrick, John Popoff, Heather Kauer, Chen Peng, Frank Liszczak

Chestermere Utilities Incorporated

Don Roberts, Ray MacIntosh

Alberta Environment

Kevin Brayford

Alberta Transportation

The City of Calgary

Neil Younger

Rocky View County

Drew Hyndman, Jorie McKenzie

The Western Irrigation District

Erwin Braun

Rocky View School Division

John Wheatley

The Calgary Catholic Board

Stephen Stewart

The Town of Chestermere Recreation Facilities Team

Chen Peng, Bill Fraiser

Master Area Structure Plan Landowners

A&H Holdings, Louson Investments, Westcreek Developments, United Communities, Pollyco Group, Richmar Holdings, Ms. Carlson & Ms. McLaren, Mr. Aziz, Mr. & Mrs. Thraya, Ms. Munia

1.0 INTRODUCTION

1.1 Title of the Plan

This Master Area Structure Plan is referred to as the Waterbridge Master Area Structure Plan (the “Master ASP” or “MASP”).

1.2 Purpose of the Plan

The purpose of this Master ASP is as follows:

- to refine and implement the broader policies contained in the Town of Chestermere Municipal Development Plan and, in doing so, provide a framework for future community development that is logical, compatible and sustainable and reflects the unique, family oriented, small town, recreational character of the Town;
- to guide and direct the preparation of subsequent Area Structure Plans (ASP’s) and the approval of Outline Plans, Land Use Amendments, Subdivision and Development Permit applications, that will collectively determine the pattern of growth of Waterbridge.

To accomplish this purpose, the Master Plan contains a future vision, land use concept, policy

statements and implementation actions, that will work together to ensure that the Master ASP is achieved over time.

1.3 Authority of the Plan

The Master ASP is an area structure plan that has been adopted through a bylaw passed by Council in accordance with the Municipal Government Act (MGA). Section 633 of the MGA, which authorizes a council to adopt an area structure plan, states:

633 (1) For the purpose of providing a framework for subsequent subdivision and development of an area of land, a council may by bylaw adopt an area structure plan.

(2) An area structure plan

(a) must describe

- i. the sequence of development proposed for an area,**
- ii. the land uses proposed for the area, either generally or with respect to specific parts of the area,**
- iii. the density of population proposed for the area either generally or with respect to specific parts of the area, and**
- iv. the general location of major transportation routes and public utilities, and**

(b) may contain any other matters the council considers necessary.



“Area Structure Plans for new development areas shall be prepared by the landowners to the satisfaction of the Town of Chestermere”
(MDP Section 6.1 Policy 2)

1.4 Context of the Plan

This Master Plan has been prepared in accordance with the policy direction contained in the Town of Chestermere Municipal Development Plan (MDP). Section 3.2, Policy 2 a. and b. of the MDP establishes a two-stage process for the planning of new residential areas in the Town involving the initial preparation of a Master ASP for the entire area, followed by the subsequent preparation of ASP's on a staged basis within the Master ASP area. This policy states:

“ 2.a. Future residential areas will be subject to a Master Area Structure Plan and/or Area Structure Plans (ASP) prior to development. Master Area Structure Plans may be required for any area over 1 section or 640 acres (259 hectares). Boundaries will be determined based on planning best practices (e.g. highways, major roads and natural features may or may not be considered a natural boundary).

b. A Master Area Structure Plan will serve as a high level planning document for large areas of land over 1 section or 640 acres. It will highlight significant development considerations such as establishing a generalized mix of land uses, servicing, stormwater management, major transportation network, major parks and open space concepts, and phasing. Phasing plans must depict future ASP's. Sustainable development initiatives are encouraged.
(MDP Section 3.2 Policy 2a & b)

Since Waterbridge comprises over 972 hectares (2,400 acres) of land, a Master ASP is required to be prepared for this area in accordance within Policy 2 of the MDP. The Master ASP, in turn, contains staging policies (Section 20.1) that provide the basis for the preparation of more detailed area structure plans (ASP) to be prepared within the Waterbridge Area.

1.5 Timeframe of the Plan

This Master ASP is future-oriented and depicts how Waterbridge is to be developed over an extended time period through a series of public and private sector initiatives. No specific time horizon is applied to development within the Master ASP, although most development is expected to occur within the next 30 years.

1.6 Interpretation of the Plan

1.6.1 Map Interpretation

Unless otherwise specified within the Master ASP, the boundaries or locations of any symbols or areas show on a map are approximate only, not absolute, and shall be interpreted as such. They are not intended to define exact locations except where they coincide with clearly recognizable physical features or surveyed boundaries such as property lines, or road or utility rights-of-way.

Minor deviations from text or mapping may be undertaken without an amendment to the Master ASP, only in such cases where the amendment does not change the intent of the Master ASP and is subject to the approval of the Town of Chestermere Administration.

1.6.2 Policy Interpretation

(1) Purpose Statements

Where a purpose statement or text accompanies a policy in the Master ASP, it is provided for information

purposes only to enhance the understanding of the policy. Should an inconsistency arise between the purpose statement or text and a policy, the policy shall take precedence.

When the MDP is amended it will take precedence over the Master ASP policies where applicable.

(2) Policy Statements

- (a) Where “shall” is used in a policy, the policy is considered to be mandatory; however, where actual quantities or numerical standards are contained within a mandatory policy, the quantities or standards may be relaxed provided that
 - i. the policy does not state otherwise, and
 - ii. the relaxation is necessary to address unique circumstances that will otherwise render compliance impractical or impossible, and the intent of the policy is still achieved.
- (b) Where “should” is used in a policy, the policy is intended to be complied with; however, the policy may be relaxed in a specific situation provided that
 - i. the relaxation is necessary to address unique circumstances that will otherwise render compliance impractical or impossible, and the intent of the policy is still achieved, or
 - ii. an acceptable alternative means to achieve the general intent of the policy or create an improved outcome over what would be achieved if the policy were complied with is being introduced instead.

- (c) Where “may” is used in a policy, it denotes that a choice can be made, and recognizes that some discretion can be applied in making that choice.

1.7 Amendment of the Plan

To make any major change to the text or maps within the Master ASP, an amendment to the Master ASP that includes a public hearing shall be held in accordance with the Municipal Government Act.

Where an amendment to the Master Plan is requested by an applicant, the applicant shall be required to submit the justification and information necessary to support the amendment.

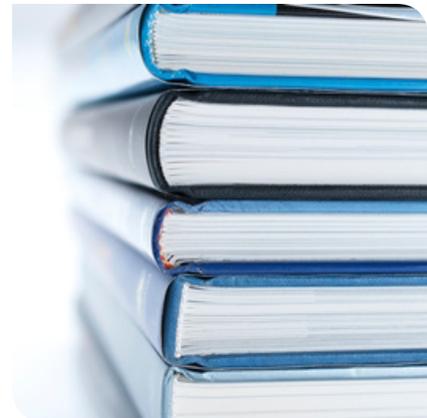
1.8 Consistency of the Plan

It is intended that consistency between the Master ASP and the other policy documents approved by Council, including but not limited to the Town of Chestermere Municipal Development Plan, will be achieved in practice, such that all statutory plans adopted by the Town will be in compliance with each other.

1.9 Monitoring of the Plan

The Town of Chestermere Administration shall monitor the policies within the Master ASP over time in relation to development in order to ensure that they remain current and relevant. Where determined necessary, the policies shall be updated through the plan amendment process either generally or in response to a specific issue.

*“To provide effective governance by monitoring, evaluating and updating strategic town policies and procedures in response to changing conditions”
(MDP 2.1.4)*



2.0 PLAN AREA

The lands were annexed from Rocky View County in 2009.

The plan area shares boundaries with both Rocky View County and the City of Calgary

The plan area represents the first urban interface along the City of Calgary's boundary

2.1 Definition of Plan Area

This Master Area Structure Plan applies to a defined area referred to as “Waterbridge” and identified on the Master Plan Area Map (Map 2.1). This area was annexed from Rocky View County in 2009 and serves as the western gateway for the Town of Chestermere. The area is bounded by the Trans-Canada Highway (Highway 1) and Rocky View County to the north; Conrich Road (RR 284), Rocky View County and the City of Calgary to the west; Rainbow Road (RR 283) and built-up areas in Chestermere (including the Paradise Meadow acreage subdivision in the SE 4-24-28-W4M) to the east; and Township Road 240, and Rocky View County to the south.

The Master Plan Area comprises approximately 971 hectares (2,400 acres) of land located in:

Section 21-24-28-W4M

Section 16-24-28-W4M

Section 9 -24-28-W4M

Section 4-24-28-W4M (excluding the portion of the SE quarter section containing the Paradise Meadow acreage subdivision)

Portions of NW and NE 3-24-28-W4M

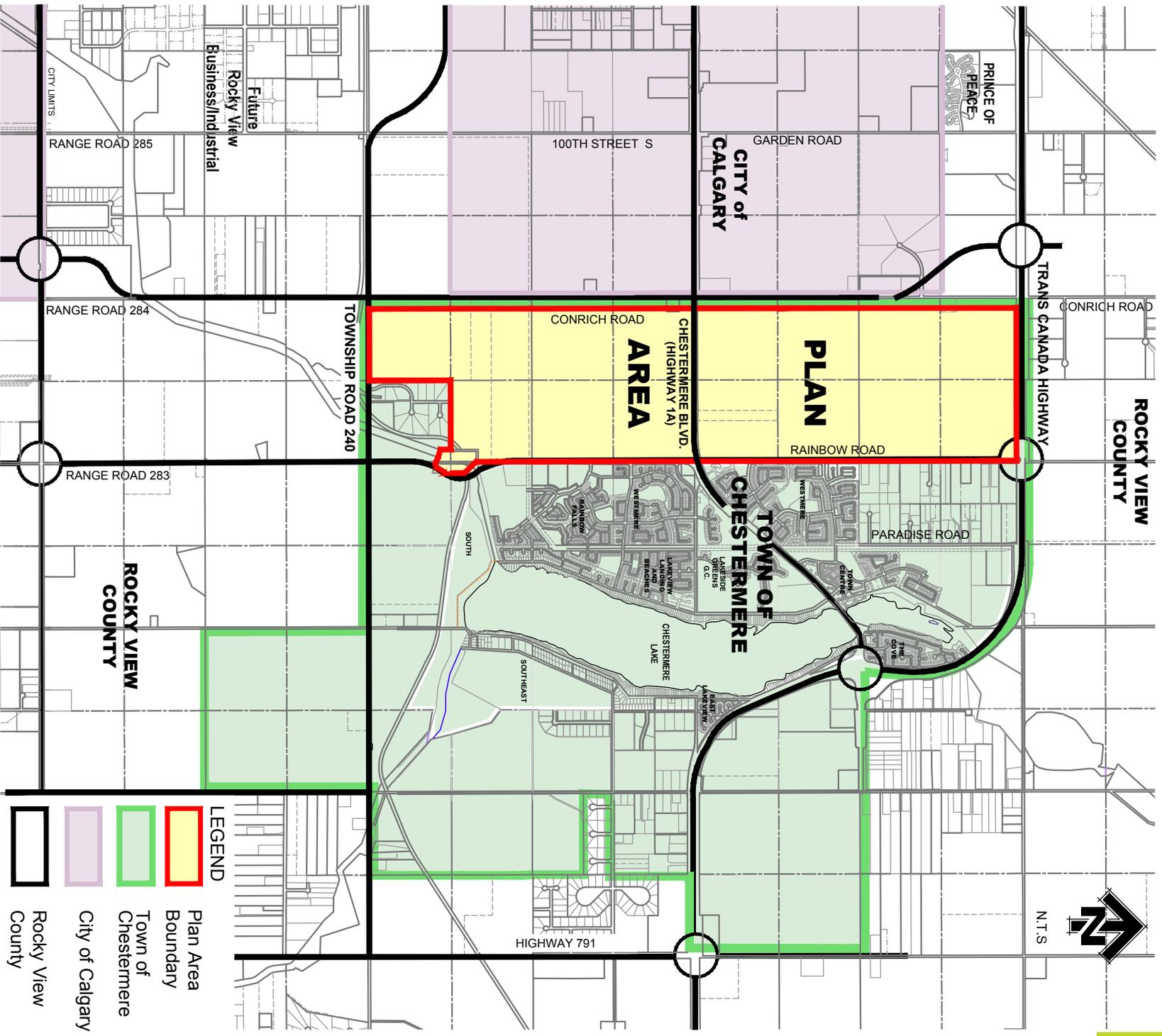
2.2 Characteristics of Plan Area

The main characteristics of the Master Plan Area are described in Part 1, Plan Evolution, which should be referred to where background information is required.



Waterbridge

Map 2.1 Plan Area



3.0 DIRECTION

3.1 Town Vision

The Chestermere Municipal Development Plan (MDP) represents the over arching planning document for the Town and provides the foundation for this Master Area Structure Plan. Section 2 of the MDP contains the following vision statement describing the role of the Town:

“A distinctive recreational lake community promoting a safe, family-oriented sustainable environment.”

The vision statement is based upon the tenets of distinctiveness, sustainability and recreation, and these tenets apply to new growth areas such as Waterbridge. Waterbridge will strive to achieve these tenets in the following manner:

- Waterbridge will be **distinctive**, and its development will reinforce the small town feel and ambience of Chestermere – characteristics that render it unique from other communities in the Metropolitan Region.
- Waterbridge will be **sustainable**, and its development will incorporate features that promote walkability, reinforce the neighbourhood as a social and activity focus, accommodate low impact stormwater techniques and introduce similar sustainable design elements.
- Finally, Waterbridge will be **recreation-based**, and its development will preserve significant wetlands and natural areas, provide for an extensive open space system and integrate pathways and pedestrian routes into the urban fabric of the area.

“Chestermere is known for its unique, small-town character!”

“Daily needs can be met in Chestermere!”

“It’s now possible to walk or bike to work!”

“Recreational open spaces and public amenities abound!”



Waterbridge

3.2 Priorities for Sustainability

Sustainability serves as an important foundation of the Chestermere MDP. In recognition of this, a 'Made in Chestermere' approach for sustainability was derived through input from Chestermere residents, Council and an MDP Planning Advisory Committee. Section 2.1. of the MDP requires that new development areas in the Town, such as Waterbridge, be measured against the "Made in Chestermere" approach to sustainability through the achievement of the following environmental, social, economic and governance principles:



Environmental

Reduction of the community's environmental footprint and focus on environmental stewardship.



Social

Fostering of the community's social and cultural cohesiveness, with an emphasis on distinctive family oriented design and accommodating more shopping, employment, cultural and recreational amenities.



Economic

Increasing the community's range of local economic opportunities by preserving an inventory or lands intended for the future development of business parks and other light industrial land uses thereby ensuring a balanced tax base.



Governance

Providing open and effective governance for growth decisions while participating in regional and intermunicipal initiatives.

3.3 Land Use Framework

In accordance with the vision and guiding principles, Section 3.1 of the MDP establishes a land use framework for Waterbridge as shown on its Land Use Concept Map. This map designates the area General Urban (Predominantly Residential) and identifies a number of design features for the area including:

- a Regional Town Centre
- two Village Centres and a Mixed Use Corridor
- a Business Park/ Employment Sector
- an Open Space/Trail System
- significant Wetland Areas
- an Arterial Road Network

The Waterbridge Master Area Structure Plan incorporates these key features into the design for the area, and provides more detailed policies to address their development.

4.0 VISION

Looking forward to 2040

The future vision for Waterbridge refines the vision for the Town as contained in the MDP:

“The year is 2040. Waterbridge is nearing full development and has enhanced the Town of Chestermere’s reputation as a unique, family oriented small town within the Metropolitan Region. The waterscaped theme of Waterbridge has become a key element of its identity and sets it apart from any other community. Chestermere’s resort-type atmosphere has been enhanced by its new communities solidifying Chestermere as the “Recreation and Relaxation Oasis of Alberta”.

Waterbridge contains four thriving communities with individual themes, together with a vibrant regional town centre containing a bustling main street with a mix of uses along with regional shopping. A Business Park in the north provides employment for the Town and region, while diversifying the municipal tax base. Each of the four Waterbridge communities retains a separate identity, achieved through its own unique name and architectural style. At the entrance to each community are features that create a sense of arrival for residents, and distinguish the area from adjoining municipalities.

Residential areas within each community consist of predominantly single-family homes, with some semi-detached, townhouses and street-oriented apartments present in clusters at key locations. The communities are divided into neighbourhoods, with each neighbourhood oriented around a central activity node that serves as a social and transit focus for the residents. The activity nodes may contain civic uses, convenience stores, day care centres, churches, parks and other amenities that provide for the day-to-day needs of residents.

Road networks within a community are interconnected, consisting of tree-lined streets that provide multiple routing options for vehicles, bikes and pedestrians, and serve to disperse traffic. An integrated pedestrian system is made up of sidewalks, walkways and pathways that encourage casual walking, as well as destination walking trips to work or for shopping. Connectivity to existing Chestermere communities creates a seamless integration of Waterbridge into the Town.

Chestermere Boulevard is the main corridor through Waterbridge and connects the region to Chestermere. Along Chestermere Boulevard is a Town Centre containing retail and service commercial uses, together with a high school, recreation centre and wetland. The centre includes a High Street – a traditional main street with ground level retail shops and potential above-grade residential and office uses fronting along its length. Surrounding the High Street are larger format anchor retail stores that draw traffic into the area increasing its activity and viability. A bus rapid transit (BRT) hub serves the Town Centre, providing a primary transit connection between Chestermere and Calgary. At the west terminus of Chestermere Boulevard is a significant entrance feature and character park that welcomes residents to this distinctive, recreation oriented community that residents proudly call home.

Located to the north and south of the Town Centre are two Village Centres. These centres are small-scale but complement the Town Centre by providing neighbourhood shopping and recreational amenities for residents.



At the north end of Waterbridge, along the Trans-Canada Highway, is a business park containing business and office uses in a campus style development. The Business Park provides local employment opportunities, while increasing the Town's tax assessment base. Diverse land uses will enhance the Town's economic sustainability and generate non-residential tax assessment to help support local amenities.

A unique environmental feature of Waterbridge is its waterscaped theme which is present throughout the area. This theme is reinforced through its system of water features providing opportunities for a connected linear open space and pathway system to encourage bicycling, jogging and walking.

Waterbridge's integrated wetland complex performs both a recreation and stormwater management function. The focal points of this complex are a stormwater integrated wetland located toward the northern end of Waterbridge, along with an EcoPark located in the south portion of Waterbridge. Lined along the banks of the integrated wetland is a mix of housing, walkways and viewing areas, allowing residents to coexist with nature in an urban context. The EcoPark is a world class wetland complex that showcases how a natural wetland can be rehabilitated, enhanced and integrated into an urban environment. Signage and educational facilities, such as outdoor school gazebos ensure that residents and visitors understand the environmental stewardship that has been undertaken to ensure the long term viability of this unique amenity.

Other notable aspects of the wetland complex include a series of naturalized stormponds and canals, replete with vegetation. These features are interspersed throughout Waterbridge, and are connected through linear parks and pathways. In addition to utilizing a low impact design technique to retain stormwater runoff, these naturalized water features provide unique passive

recreation advantages that are absent in most other residential communities in the region.

Waterbridge can be characterized as "a place for a lifetime". Its diversity of housing and lifestyle choices allow people to grow up and remain in the area throughout their lives. Its wide range of recreational amenities and public facilities cater to both young and old residents.

Residents living in Waterbridge enjoy life in a community with small-town charm and many recreational amenities. Within their communities are village centres, neighbourhood nodes and a well connected open space system where they can live, work, play and shop. Multiple opportunities for social interaction creates a strong sense of community while contributing to the vitality and healthy lifestyle that defines the Town of Chestermere.



4.1 Strategies for Achieving the “Made in Chestermere” vision in Waterbridge

The goals represent succinct and aspirational statements addressing what is to be achieved through the future development of Waterbridge. These goals are as follows:



Distinct Identity

To create viable and attractive communities with distinct identities, an emphasis on sustainable principles and the creation of sense of place.



Commercial Vitality

To develop a vital and successful town centre to meet the shopping, living and social needs of local residents in a high quality lifestyle centre.



Employment Opportunities

To offer a wide range of employment opportunities that allow residents to work in close proximity to where they live.



Housing Diversity

To provide for a diversity of high quality housing types, including single family housing, secondary suites, low rise street oriented attached housing and low rise apartment style developments, to meet the needs of various income groups and lifestyles while preserving the residential character of the community.



Neighbourhood Focus

To foster a sense of neighbourhood and culture, provide focal point for social interaction and meet the day-to-day needs of local residents in the community.



Recreational Amenities

To meet a variety of active and passive recreational needs of residents through provision of an extensive and connected system of naturalized and landscaped open space. To provide a location for a future Recreation Centre to serve the entire Town.



Educational Needs

To accommodate a variety of schools to meet the broad educational needs of the community.



Public Facilities

To ensure sufficient sites for public facilities to serve the recreational, institutional, cultural and spiritual needs of residents, foster the social development of the communities and enhance their quality of life.



Wetland Conservation

To balance the need to protect ecologically and hydrologically significant areas with other urban development pressures and effectively integrate these features into the stormwater drainage and open space system in a sustainable manner.

*“Sustainability...
living in a way that
meets the needs of
the present without
compromising the
ability of future
generations to
meet their own
needs”*

*(Brundtland Commission,
1987, MDP Pg 6)*



Waterbridge



Balanced Transportation



To create an interconnected and efficient transportation network that balances the needs of motorist, transit users, pedestrians and cyclists while minimizing environmental and neighbourhood impacts.

Pedestrian Circulation



To encourage walking and cycling through the provision of convenient and direct sidewalk, walking, pathway and bikeway connections through high quality public spaces in an enhanced public realm.

Future Transit Service



To promote the use of future public transit through effective urban design, pedestrian connections and transit routing.

Stormwater Management



To apply innovative and progressive low impact stormwater management techniques that protect wetlands, reduce runoff and encourage reuse of stormwater.

Utility Infrastructure



To supply water, sanitary sewer and stormwater utilities to meet the needs of urban development in an efficient manner.

Sense of Place



To create visually attractive gateway corridors, visual landmarks and public social areas each with high quality architectural controls that will contribute to Chestermere's identity, culture and community pride.

Implementation and Governance



To provide clear direction for the preparation of the ASPs through a Sustainable Evaluation Analysis and ensure the MDP and Waterbridge vision is carried forward.



5.0 THE COMMUNITIES OF WATERBRIDGE

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

5.1 Community Structure Map

Waterbridge will include four distinct residential communities that will be master planned to provide high quality residential and non-residential uses with centrally placed amenities. The Business Park will be an distinct community from the Waterbridge North Community, but the Town Centre, although comprehensively planned will become part of the North Central and South Central Communities.

The communities will consist of predominantly residential areas that are well-defined by the arterial grid road network and/or major natural features and contains a population base that is large enough to support local commercial, institutional, recreational, educational facilities and services. Architectural controls will create communities that are identifiable and distinct in the context of the municipality.

As shown on the Community Structure Map (Map 5.1), the Waterbridge communities and Business Park are delineated by the perimeter arterial roads. The size and projected population of each community is provided in the following table:

Table 5.1 Waterbridge Communities

Community	Size	Projected Population
Business Park/North	182 hectares (500 acres)	7,977
North Central	308 hectares (761 acres)	14,898
South Central	262 hectares (648 acres)	13,109
South	194 hectares (480 acres)	10,349
Total	946 hectares (2,400 acres)	46,333

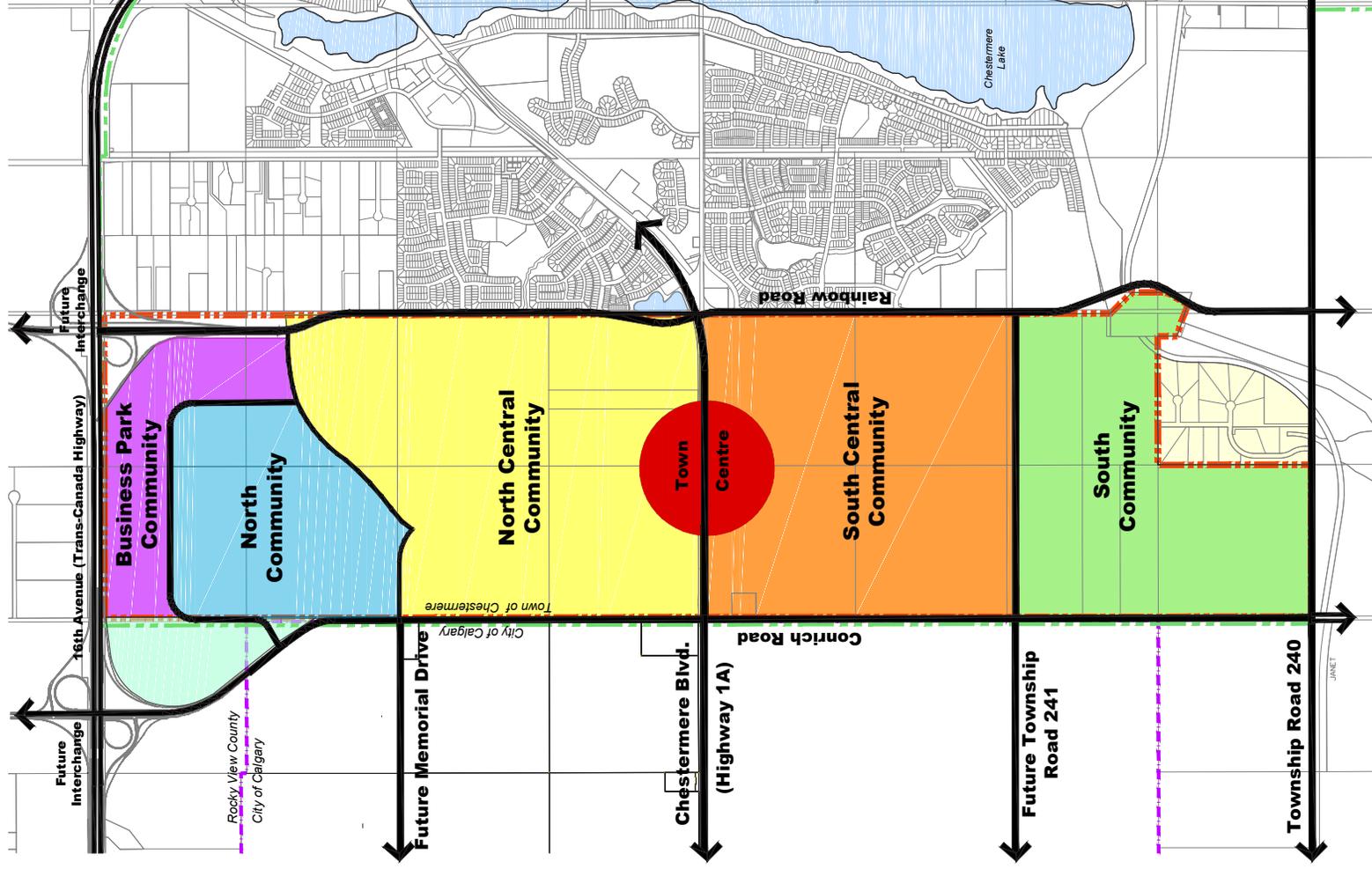
Note:

- The size and population of each community is a projection only, and any variation from these figures will not require an amendment to this table.
- The population projection is based upon a maximum MDP residential density of 17.3 units per net developable hectare of land (7 units per net developable acre) and an average of 3.3 persons per Single Family dwelling (80% of units) and 2.2 persons per multi-family dwelling (20% of units)
- North Central and South Central Communities include the Town Centre.



Waterbridge

Map 5.1: Community Structure



LEGEND:

-  Plan Area Boundary
-  North Community
-  North Central Community
-  South Central Community
-  South Community
-  Town Centre
-  Business Park Community
-  Future Joint Planning Area
-  Future Redevelopment Area

Note:
 All areas and symbols are conceptual only and subject to revision at a more detailed planning stage.

5.2 Future Community Boundary Adjustments

It is noted that the Waterbridge Business Park Community boundary excludes a Future Joint Planning Area; and, the Waterbridge South Community boundary excludes a Future Redevelopment Area.

The Future Joint Planning Area comprises approximately 32.0 hectares (80.0 acres) of land that is currently located within Rocky View County and the City of Calgary. This area will be isolated by virtue of the realignment of Conrich Road, which is required to accommodate the interchange along the Trans-Canada Highway. The area forms a logical extension of the Waterbridge North Community and the Business Park Community, and should ideally be planned in conjunction with these areas. Consultation among the Town, County and the City should occur as part of any detailed planning exercise for the area to ensure its coordinated development pending resolution of jurisdictional matters.

The Future Redevelopment Area comprises the Paradise Meadow acreage subdivision located adjacent to the Waterbridge South Community. With the extension of services to the South Community, pressures for redevelopment of these acreage parcels will occur. As such, the design for the South Community should provide for the logical and contiguous integration of the Future Redevelopment Area into the balance of the community in the future.

5.3 Waterbridge Community Structure and Identity Policies

5.3.1 Purpose

The communities of Waterbridge will have a waterscaped and/or recreation oriented theme while remaining distinct from each other and other communities in the Town. Each community theme will consider the Town's vision as a family-oriented small Town, along with their recreation statement: Chestermere, Alberta's Oasis: The Recreation and Relaxation Capital. Specific themes and identity will be required to be identified at the ASP stage.

The purpose of these policies is to provide for a distinct identity for each community in Waterbridge. This will be accomplished primarily through the application of a unique name and related street names to each of these communities, together with the introduction of identification signage along the arterial roads at the entrance ways to the communities and high quality architectural controls.



5.3.2 Policies

(1) Community Names

Prior to or concurrent with the adoption of the initial Area Structure Plan within a community, a name for that community should be approved by Council.

(2) Street Names

Prior to or concurrent with the approval of an Outline Plan and Land Use Amendment application within a community, street names (not street types) should be approved by Council, with the street names to reinforce and reflect the community name.

(3) Arterial Streets

Major arterial streets that extend through or divide two or more communities should retain a common name in recognition of the intracommunity function of these roads.

(4) Entrance way Signage

Community Identification signage should be located at all entrance ways along major arterial streets leading into a community from other municipal jurisdictions to create a sense of arrival, assist in wayfinding and reinforce the distinctiveness of the community.

(5) Architectural Controls

High quality architectural controls should reflect the community theme and establish each community's distinctiveness within Waterbridge and the Town of Chestermere.



6.0 THE NEIGHBOURHOODS WITHIN THE COMMUNITIES OF WATERBRIDGE

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

6.1 Neighbourhood Structure Map

The four communities within Waterbridge will be divided into a series of “neighbourhoods”, as shown conceptually on the Neighbourhood Structure Map (Map 6.1). The business park at the north end of Waterbridge will not form part of a neighbourhood, but remain as a separate planning and development area. Waterbridge neighbourhoods will be defined by the east-west arterial grid road network and the north-south central open space corridor created by linear parks, stormwater canals, natural areas and school sites that intersect and connect the four communities.

In accordance with MDP policy, the neighbourhood will represent the building block of the community design in Waterbridge. A neighbourhood will consist of two components: a Neighbourhood Area and a Neighbourhood Node. A Neighbourhood Area represents a pedestrian catchment area surrounding the centrally located Neighbourhood Node defined by a five to ten minute, or 400 to 800 metre, walking distance extending outward from the node. The Neighbourhood Node provides an activity and social focus for the residents of the neighbourhood, and contains amenity space, future transit bus stops, multi-unit housing, civic uses and convenience commercial, institutional and recreational services that cater to the daily needs of residents. Section 3.2, Neighbourhoods, of the Chestermere MDP, indicates that a neighbourhood should create a walkable environment and ensure a strong sense of place for its residents. Section 3.2 states:

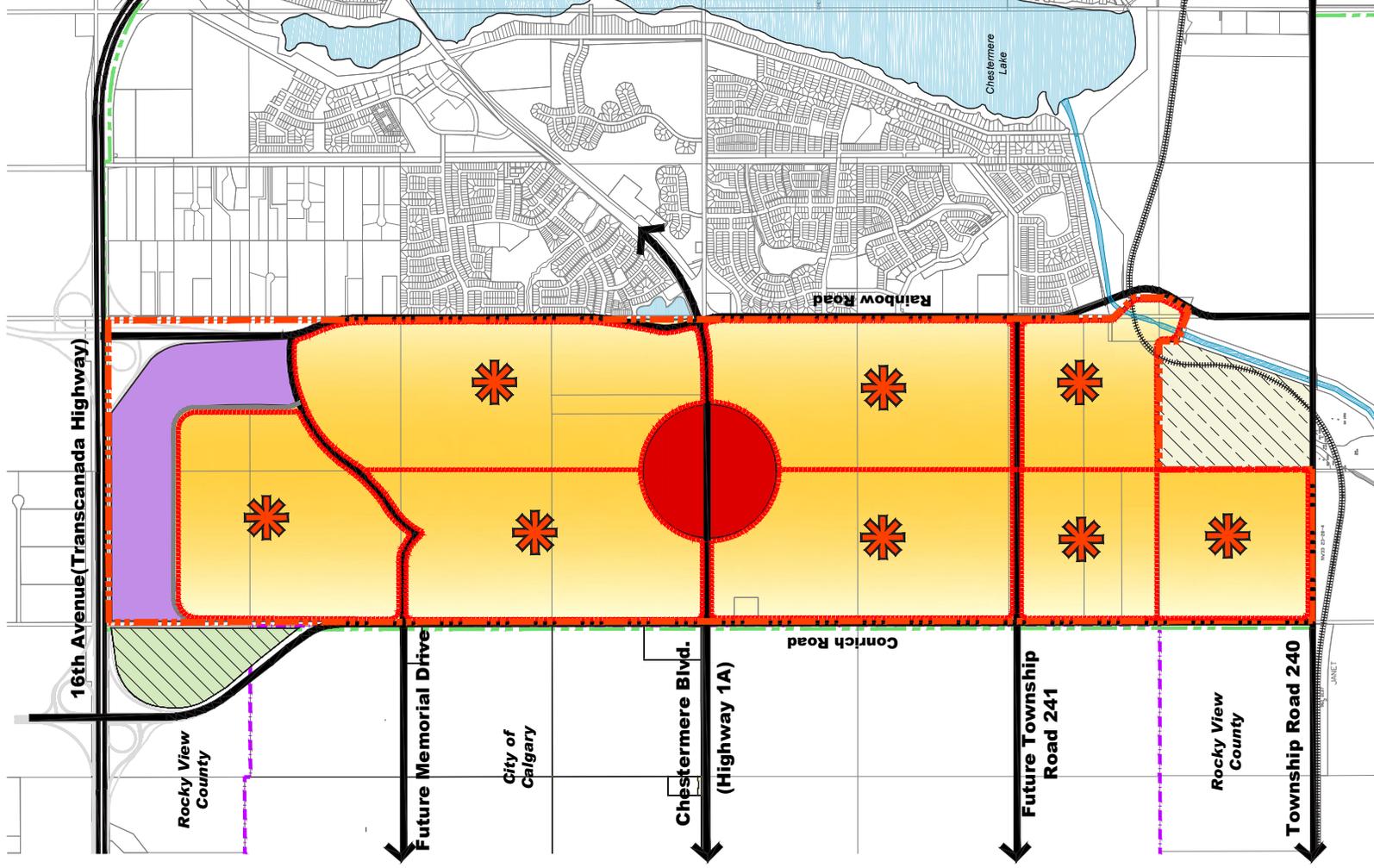
“

“New neighbourhoods will be designed to add to the vibrancy and small town character of Chestermere. Neighbourhoods should each have a distinctive character with centrally located community services and recreational opportunities.”

”



Map 6-1 Neighbourhood Structure



LEGEND:

-  Plan Area Boundary
-  Neighbourhood Area
-  Neighbourhood Node
-  Town Centre
-  Business Park

Note:
All areas and symbols are conceptual only and subject to revision at a more detailed planning stage.

6.2 Neighbourhood Structure Policies

6.2.1 Purpose

The policies in the section address the composition, distribution, and planning of the neighbourhoods. The policies in Section 8.0, Land Use Area Policies, will provide more detailed direction on the development of the Neighbourhood Areas and Neighbourhood Nodes.

6.2.2 Policies

(1) Composition of Neighbourhoods

- (a) A Neighbourhood shall be comprised of
 - i. a Neighbourhood Area, representing a defined pedestrian walking distance extending outward from the Neighbourhood Node, and
 - ii. a Neighbourhood Node, representing a social, activity and transit focus for the surrounding Neighbourhood Area.
- (b) The development of a Neighbourhood Area and Neighbourhood Node shall be subject to the policies of Section 8.0, Land Use Areas.

(2) Distribution of Neighbourhoods

- (a) The number, configurations and distribution of Neighbourhoods within the Business Park, North, North Central, South Central and South Communities should be as shown conceptually on the Neighbourhood Structure Map (Map 6.1).
- (b) Notwithstanding (a), through the preparation of an ASP, the number, configuration and distribution of the Neighbourhoods shown on the Neighbourhood Structure Map may be revised as necessary
 - i. in response to land use, transportation, servicing or land ownership constraints, and
 - ii. subject to the following parameters:
 - A. a neighbourhood should not be divided by an arterial road;
 - B. a neighbourhood should be situated completely within one community;
 - C. neighbourhood boundaries should recognize and align with the north-south open space axis that extends through the communities;
 - D. the Business Park Community should remain distinct and not form part of a neighbourhood;

- E. major natural areas and wetlands may be excluded from, or integrated into a neighbourhood;
- F. the pedestrian-shed comprising a neighbourhood should not exceed a reasonable and practical walking distance from the Neighbourhood Node;
- G. there should be a minimum of six neighbourhoods within Waterbridge; and
- H. the Town Centre should be integrated with the adjoining neighbourhoods in a complementary, compatible and supportive manner.



(3) Identity of Neighbourhoods

A Neighbourhood should convey a distinct identity for its residents through such elements as:

- i. defined neighbourhood edges;
- ii. neighbourhood theme names;
- iii. neighbourhood parks and features;
- iv. neighbourhood street and entrance signage;
- v. architectural controls.

(4) Evaluation of Neighbourhoods

At the ASP stage, or through an Outline Plan and Land Use Amendment application, a Sustainable Evaluation Analysis should be applied to assist in the evaluation of a neighbourhood design.



7.0 THE WATERBRIDGE LAND USE CONCEPT

“A master Area Structure Plan will serve as a high level planning document for large areas of land over 1 section or 640 acres.”



7.1 Land Use Concept Map

The Waterbridge land use concept is shown on the Land Use Concept Map (Map 7.1). This concept consists of a series of areas and symbols that define a future land use pattern for the area. Residential uses form the predominate use within the Waterbridge Plan Area, along with a future business park/employment area, a Town Centre, two Village Centres, a mixed-use corridor and a significant connected open space system.

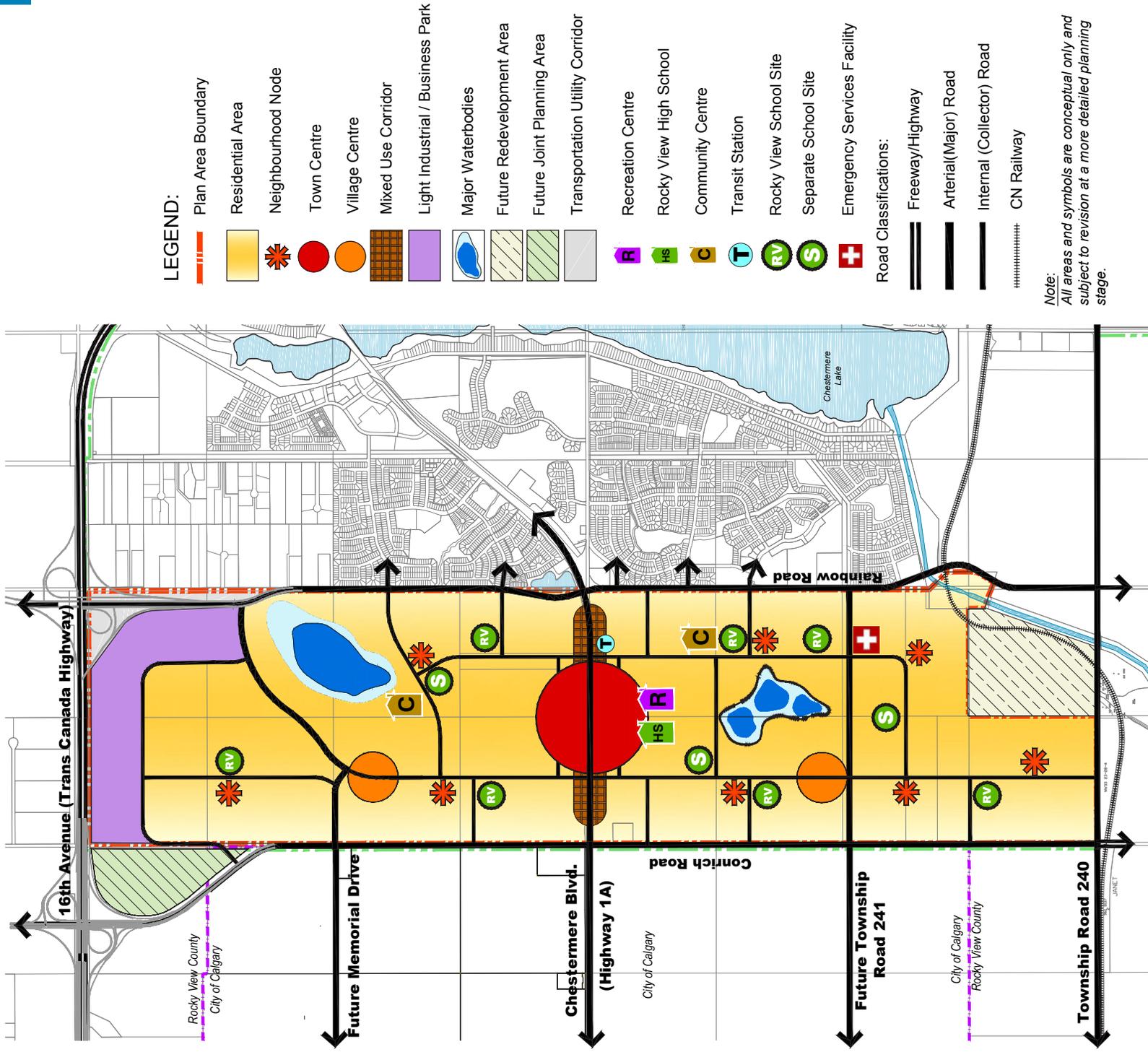
Chestermere Boulevard, a major transportation corridor connects Chestermere to Calgary and separates the north and south Waterbridge Plan area. This corridor connects residents and visitors through the heart of Waterbridge and to the Regional Town Centre.

7.2 Policy Direction

Section 8.0, Land Use Area Policies, of this Master ASP, contains policies that apply to the land use areas and symbols shown on the Land Use Concept Map.

Sections 9.0 to 11.0 of the Master ASP contain policies that address residential density, reserve dedication and sustainable development. These policies are not area specific and apply to the entire Master Plan Area.

Map 7-1 Land Use Concept



8.0 LAND USE AREA POLICIES

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

New neighbourhoods will be designed to add to the vibrancy and small town recreational character of Chestermere (MDP 3.2)

8.1 Residential Area

8.1.1 Purpose

The purpose of the Residential Area is to accommodate predominantly low density residential development, together with a wide range of complementary and compatible uses that serve the social, recreational, spiritual and civic needs of residents. Different housing forms, such as live/work units, secondary suites and multi-dwelling projects will also be allowed, where appropriate. The Residential Area represents the majority of the land area in each community. A high standard of architecture, design and public amenities should conform to the community theme to ensure consistency but allow for variety and creativity.

8.1.2 Policies

(1) Composition of Residential Area

- (a) Subject to the policies in this Master ASP,
 - i. the predominant use of land within the Residential Area shall be single-detached residential uses, and
 - ii. the following uses may also be allowed within the Residential Area where determined to be compatible and appropriate:
 - A. multi-dwelling residential uses;
 - B. neighbourhood and community parks;
 - C. secondary suites and other innovative housing forms; and



Waterbridge

- iii. The following uses may be allowed within the Residential Area provided that such uses are determined to be compatible and appropriate and do not compromise the viability of or compete with development in a Neighbourhood Node, Village Centre or Town Centre:
 - A. civic uses, recreational uses and institutional uses;
 - B. special care facilities;
 - C. local commercial uses; and
- iv. similar uses, public uses and accessory uses may also be allowed throughout the Residential Area where determined to be compatible and appropriate.
 - A. The general categories of uses identified under subsection (a) shall be refined through the Outline Plan and the Land Use Districts applied to the Residential Area.



Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

8.2 Neighbourhood Nodes

8.2.1 Purpose

The purpose of a Neighbourhood Node is to provide a social and activity focus for the surrounding Neighbourhood Area. Neighbourhood Nodes will be comprised of a mix of residential and non-residential uses situated around a central park or plaza and capable of being served by future public transit.

Connectivity between the Neighbourhood Node and surrounding residential development will be achieved through the convergence of pathways and roads into the node. The design of the Neighbourhood Node will support the achievement of a strong pedestrian environment and emphasize the street as the focus of neighbourhood activity. The neighbourhood character and theme will be displayed through the architectural guidelines and within the public spaces.

8.2.2 Policies

(1) Composition of Neighbourhood Node

- (a) Subject to the policies of this Master ASP,

- i. the predominant use of land in a Neighbourhood Node shall include
 - A. a variety of street-oriented multi-dwelling residential uses such as semi-detached dwellings, townhouses and apartments,
 - B. locations for future transit bus stops,
 - C. a mixed use development project subject to Policy (3), and
 - D. a park or central amenity space, subject to subsection (b) below;
- ii. the following uses may be allowed in a Neighbourhood Node where determined to be compatible and appropriate:
 - A. a limited number of single-detached dwellings;
 - B. local commercial uses, recreational uses and institutional uses,
 - C. civic uses,
 - D. an elementary or middle school site, provided the school building will be appropriately oriented toward the node;
 - iii. similar uses, public uses and accessory uses may also be allowed throughout a Neighbourhood Node where determined to be compatible and appropriate.
- (b) Where an elementary or middle school site is located within a Neighbourhood Node, a park or central amenity space is not required.
- (c) The general category of uses identified under subsection (a) shall be refined through the Outline Plan and the Land Use Districts applied to the Neighbourhood Node.

(2) Density of Neighbourhood Node

A Neighbourhood Node shall contain a minimum of 90 dwelling units on 2.0 hectares (5 acres) of net developable land, which equates to a minimum density of 45 units per net hectare (18 units per net acre).

(3) Mixed Uses in Neighbourhood Node

- (a) Consideration shall be provided in the Neighbourhood Node for non-residential development such as local commercial uses, school buildings, civic uses (cultural, recreational or institutional facilities) or employment uses, in either a mixed use building or as a stand-alone development on a site.
- (b) Non-residential development in a Neighbourhood Node shall
 - i. be oriented to the street and have direct pedestrian connections from the sidewalk to building entrances,
 - ii. be small-scale and compatible with adjacent residential uses, and
 - iii. not be automotive-based or involve drive-up services.



(4) Amenity Space in Neighbourhood Node

The Amenity Space in a Neighbourhood Node should be

- i. comprised of a plaza, green or square, or other formal park space,
- ii. between 0.2 hectares and 1.0 hectares (.5 acres and 2.5 acres) in size,
- iii. bounded by streets or building facades, and
- iv. located in close proximity to one or more transit stops.

(5) Transit Service to Neighbourhood Node

A Neighbourhood Node shall be capable of accommodating public transit and contain a defined area for

- i. bus transit stop(s), and
- ii. related transit-service facilities such as lighted shelters with seating for patrons and secure bicycle parking.

(6) Streetscape for Neighbourhood Node

(a) A Neighbourhood Node should contain

- i. a block-based design,
- ii. lanes and rear drive access,
- iii. tree-lined streets, and
- iv. street-oriented buildings with minimal and uniform front-yard setbacks.

(b) Except when unavoidable due to site constraints, the use of cul-de-sacs and p-loops, and similar self-contained cells, should be avoided within a Neighbourhood Node in favour of an interconnected road network consisting of multiple and parallel routes for pedestrians and vehicles along the public street.

(7) Sustainable Design of Neighbourhood Nodes

Neighbourhood Nodes should include sustainable development and design initiatives such as:

- i. green building and design best practices
- ii. green technology including water and energy saving initiatives
- iii. universal and barrier-free design features



Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

8.3 Village Centres

8.3.1 Purpose

The purpose of the Village Centre is to serve as a local shopping, living or working area for the surrounding community. This function is clearly identified in Section 3.4, Mixed Use Village Centres, of the Municipal Development Plan, which states:

“Village Centres will provide a convenient community focal point with a small-town character where residents of surrounding neighbourhoods can meet, relax and shop. Village Centres should be centrally located to provide local convenience and appropriate community-level goods and services.”
(MDP 3.4)

Village Centres are similar to Neighbourhood Nodes but will tend to exhibit some differences: the Village Centre is larger scale and located along arterial roads toward the periphery of the community; the Village Centre must contain local commercial development and mixed use sites; and, the Village Centre should be designed to ensure pedestrian connections with the balance of the community.

8.3.2 Policies

(1) Composition of Village Centre

- (a) Subject to the policies of this Master ASP,
 - i. the predominant use of land in a Village Centre shall include:
 - A. a variety of street-oriented multi-dwelling housing such as semi-detached dwellings, townhouses and apartments;
 - B. one or more bus transit stops;
 - C. local commercial uses;
 - D. at least one mixed use development project, subject to Policy 4; and
 - E. a park or central amenity space;



Waterbridge

- ii. the following uses may be allowed in a Village Centre where determined to be compatible and appropriate:
 - A. a limited number of single-detached residential uses;
 - B. civic uses, recreational uses and institutional uses; and
- iii. similar uses, public uses and accessory uses may also be allowed within a Village Centre where determined to be compatible and appropriate.

(b) The general categories of uses identified under subsection (a) above shall be refined through the Outline Plan and Land Use Districts applied to the Village Centre.

(2) Residential in Village Centre

In order to generate an appropriate level of activity and a sense of spatial enclosure, no more than 25 percent of the dwelling units within the Village Centre should be single detached dwellings.

(3) Density of Village Centre

A Village Centre shall contain a minimum of 90 dwelling units on 2.0 hectares (5 acres) of net developable land, which equates to a minimum density of 45 units per net developable hectare (18 units per net developable acre).

(4) Mixed Uses in Village Centre

Consideration shall be provided in a Village Centre for non-residential and non-retail development, such as civic uses, employment uses, institutional uses or recreational uses, in a mixed use building or as a stand-alone development on a site.

(5) Local Commercial in Village Centre

Consideration shall be provided in a Village Centre for local commercial development, preferably a convenience food store, in either a mixed use building or as a stand-alone development on a site.

(6) Development Orientation in Village Centre

Recognizing that a Village Centre can be located along a major arterial road, the development of the centre should be oriented toward the adjacent roadways and residential areas in order to encourage walking and avoid vehicle/pedestrian conflicts, and to facilitate a smaller-scale, street-oriented development format.

(7) Non-Residential Buildings in Village Centre

Non-residential buildings in a Village Centre should be

- (a) oriented to the street with direct pedestrian connections provided from the building entrances to the front sidewalk, and
- (b) small-scale and compatible with adjacent residential uses.

(8) Central Amenity Space in Village Centre

The central amenity space in a Village Centre should be

- (a) comprised of a plaza, square, visual landmark, green or other small-scale, formal park space, and
- (b) bounded by streets or building facades.

(9) Transit Service to Village Centre

A Village Centre should be capable of accommodating public transit and contain a defined area for

- (a) transit bus stops, and
- (b) related transit service facilities, such as lighted shelters with seating for patrons and secure bicycle parking.

(10) Street Pattern for Village Centre

- (a) A Village Centre should provide for
 - i. a block-based design,
 - ii. lanes and rear drive access,
 - iii. tree-lined streets,
 - iv. street-oriented building orientations with minimal front yard setbacks.



- (b) Except when unavoidable due to constraints, the use of cul-de-sacs and p-loops, and similar self-contained cells, should not be allowed within a Village Centre, in favour of an interconnected road network creating multiple and parallel routes for pedestrians, bicycles and vehicles.

(11) Connections to Village Centre

The pedestrian and vehicular routes from the surrounding Neighbourhood Area should converge on the Village Centre providing efficient and convenient connections.

(12) Sustainable Design of Village Centres

Village Centres should include sustainable development and design initiatives such as:

- i. green building and design best practices
- ii. green technology such as water and energy saving initiatives
- iii. universal and barrier-free design features

(13) Design Guidelines for the Village Centre

Design of the Village Centres will be subject to site design and landscape requirements as set out in the Chestermere Design Guidelines.

Providing day-to-day needs of residents within residential neighbourhoods provides convenient access for residents, minimizes the need for vehicle trips, and creates more sustainable communities.

(MDP 3.2)

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

8.4 Mixed Use Corridor

8.4.1 Purpose

The purpose of the Mixed Use Corridor is to accommodate a mix of residential development along Chestermere Boulevard to the east and west of the Town Centre. In addition, commercial, institutional, recreational and similar uses that are complementary to the area, and do not compromise the viability of the Town Centre, are also considered to be appropriate. Commercial uses may include service commercial and secondary commercial uses. As well, horizontal and vertical mixing of uses, either within a building or on a site, are encouraged in the area.

8.4.2 Policies

(1) Composition of Mixed Use Corridor

- (a) Subject to the policies in this Master ASP,
 - i. the predominant use of land within the Mixed Use Corridor shall be multi-unit dwellings;
 - ii. the following uses may be allowed within the Mixed Use Corridor where determined to be compatible and appropriate:
 - A. local commercial uses, service commercial uses and secondary commercial uses;
 - B. civic uses, institutional uses and recreational uses;
 - C. secondary suites and other innovative housing forms; and
 - D. single-detached residential uses in limited and defined areas.
 - iii. similar uses, public uses and accessory uses may also be allowed within the Mixed Use Corridor where determined to be compatible and appropriate.
- (b) Commercial development within the Mixed Use Corridor shall complement the function of the corridor and support its long-term viability.



Mixed use development such as live/work units and apartments over commercial main floors will be encouraged (MDP 3.4.6)



(c) The general categories of uses identified under subsection (a) above shall be refined through the Outline Plan and Land Use Districts applied to the Mixed Use Corridor.

(2) Development Integration in Mixed Use Corridor

Uses may be vertically or horizontally integrated within a building or on a site within the Mixed Use Corridor.

(3) Residential Orientation in Mixed Use Corridor

Residential development shall not be required to be oriented to Chestermere Boulevard in the Mixed Use Corridor.

(4) Sustainable Design of the Mixed Use Corridor

The Mixed Use Corridor should include sustainable development and design initiatives such as:

- i. green building and design best practices;
- ii. green technology such as water and energy saving initiatives;
- iii. universal and barrier-free design features;
- iv. bicycle and pedestrian connectivity.

(5) Design Guidelines for the Mixed Use Corridor

Design of the Mixed Use Corridor will be subject to site design and landscape requirements as set out in the Chestermere Design Guidelines.

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

8.5 Town Centre

8.5.1 Purpose

The purpose of the Town Centre is as follows:

- to create a multi-functional lifestyle shopping, living and employment focus for the surrounding communities
- to provide a wide range of retail goods and services serving the communities and the Town.

As addressed in MDP Section 3.3, Commercial Town Centre, in the MDP, the Town Centre will be comprised of two character areas: a General Commercial Area and a Main Street Commercial Area. The General Commercial Area will accommodate larger format retail stores, and will serve as a regional draw that benefits from high visibility and direct access along Chestermere Boulevard. Conversely, the Main Street Commercial Area will accommodate smaller scale commercial uses, together with opportunities for offices and residential dwellings in mixed use buildings aligned along a traditional main street.

A number of supportive uses, including a high school, recreation centre, transit station and multi-unit housing projects will be situated in close proximity to the Main Street and will complement and support its retail function. In addition, the Main Street will benefit from the synergy and consumer traffic drawn by the larger format retail stores in the immediate area. The majority of the market, planning and design work for the Town Centre will occur at the Outline Plan stage. However, the policies in this Master ASP establish a framework for this next level of planning.

8.5.2 Policies

(1) Composition of the Town Centre

- (a) The Town Centre shall be comprised of a General Commercial Area and a Main Street Commercial Area.
- (b) Subject to the policies of this Master ASP,
 - i. the predominant use of land in the General Commercial Area shall be medium to larger format retail commercial uses that serve as anchor tenants for the Town Centre, in accordance with the MDP.
 - ii. in addition to (i.), the following uses may also be allowed in the General Commercial Area where determined to be compatible and appropriate:
 - A. office and other employment related uses;
 - B. civic uses, institutional uses and recreational uses;
 - C. meeting and conference facilities;
 - D. public uses, including a BRT station;
 - E. wetlands, sports fields, walking trails;
 - F. multi-dwelling residential uses;
 - G. accessory uses and public uses;
 - H. service commercial uses, including hotels.

Concept only - subject to change



- iii. the predominant use of land in the Main Street Commercial Area shall be smaller-scale retail uses and office uses located in mixed use buildings fronting onto a central main shopping street as well as any adjoining street that extends from Chestermere Boulevard;
- iv. the following uses may also be allowed within the Main Street Commercial Area where determined to be compatible and appropriate:
 - A. multi-unit residential uses;
 - B. civic uses, institutional uses and recreational uses;
 - C. similar uses, accessory uses and public uses
- v. in addition to the above, the following uses should be located within the Town Centre in a location determined appropriate:
 - A. a centrally located and formally landscaped park or plaza should be provided in the Town Centre
- vii. surrounding the Town Centre, in proximity to the General Commercial Area, transitional multi-unit residential development should be provided;
- viii. a use shall not be located outside of but in proximity to the Town Centre where the use
 - A. will potentially compromise or detract from the economic viability of the centre, or
 - B. would be better suited and more appropriately located within the Town Centre proper due to the synergies and other benefits it would create for the Centre.

The Town Centre will provide a high quality shopping environment that offers activities as well as services and amenities.
(MDP 3.3)

Development in the Town Centre will accommodate the needs of both the pedestrian oriented and auto oriented customers.
(MDP 3.3)

A Centrally located public plaza should be developed within [the] Town Centre to provide an urban focal point and gathering place
(Waterbridge Master ASP 8.5.2(1)(b)v.B.)

(2) Size of Town Centre

The Town Centre should contain a minimum 27,870 m² (300,000 ft²) of gross leasable area of commercial development.

(3) Design of Town Centre

The design of the Town Centre shall be addressed through the preparation of an Outline Plan.

(4) Design Guidelines for the Town Centre

Design of the Town Centre will be subject to site design and landscape requirements, in accordance with the Chestermere Design Guidelines, to ensure a pedestrian oriented public realm .

(5) Sustainable Design of the Town Centre

The Town Centre should include sustainable development and design initiatives such as:

- i. green building and design best practices;
- ii. green technology such as water and energy saving initiatives;
- iii. universal and barrier-free design features;



Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance



8.6 Business Park Area

8.6.1 Purpose

The purpose of the Business Park Area is to accommodate office uses, light industrial uses and other employment generating uses within a comprehensively developed business park format. In addressing the role of the Business Park Area, Section 3.5 of the MDP states:

Chestermere will seek to increase the opportunities for new businesses and local employment to improve the economic health of the community. This will enable Chestermere to be an autonomous, unique and economically sustainable community within the Calgary region ...

... Business Park locations are distributed to provide employment close to residential neighbourhoods; minimize peak hour traffic movements in one direction, and be directly accessible to/from major roads without passing through residential areas. These locations are intended to offer people the opportunity to live close to where they work.

The Business Park Area should accommodate a “fully-functional” employment area containing services, and amenities that cater to employees, and be designed to foster a high quality business campus/park environment at the northern end of Waterbridge adjacent to the Trans-Canada Highway (Highway 1).
(MDP 3.5)

8.6.2 Policies

(1) Composition of Business Park

- (a) Subject to the policies of this Master ASP,
 - i. the predominant use of land within the Business Park shall be office uses, light industrial uses and other employment-related uses, and

ii. the following uses may be allowed where determined to be compatible and appropriate:

- A. service commercial uses, where the uses have access and visibility from Highway 1,
- B. local commercial uses,
- C. similar uses, accessory uses and public uses,
- D. uses that enhance and support the function of the area as a fully-serviced business park.

(b) The general categories of uses identified under subsection (a) shall be refined through the subsequent Area Structure Plan and Land Use Districts applied to the Business Park.

(2) Amenities in Business Park

In order to achieve a high quality, fully serviced employment area for the Town, the Business Park shall provide for:

- i. a service commercial centre containing restaurants and other service commercial establishments that cater to employees in the area,
- ii. an integrated sidewalk, walkway and pathway system to accommodate transit stops, pedestrian connectivity, building linkages, and
- iii. an efficient transit bus route capable of serving the entire park.

(3) Compatibility of Business Park

In order to ensure compatibility with the adjacent residential areas, the Business Park shall be designed to provide

- i. a well-defined interface between the Business Park and the adjacent residential areas,
- ii. a landscaped and treed buffer between the Business Park and the adjacent residential areas.

(4) Comprehensive Development of Business Park

- (a) The Business Park shall be the subject of a comprehensive site design that comprises all lands within the park, and provides for the appropriate integration of the park with the Waterbridge North Community.
- (b) The size and configuration of the Business Park in relation to the Waterbridge North Community may be revised at the ASP stage; through adjustments to the road network and land use pattern without requiring an amendment to the Master ASP.

(5) Timing of Business Park

- (a) The Business Park should ideally be planned in concert with the Waterbridge North Community.
- (b) Recognizing that the market demand for business development in the Business Park may not be strong at the outset, development and financial incentives should be considered to be introduced by the Town to promote and encourage employment-related development in the park.



(6) Scale of Business

The Business Park should contain a minimum of 50 hectares (123 acres) of gross developable area.

(7) Sustainable Design of the Business Park

The Business Park should include sustainable development and design initiatives such as:

- i. green building and design best practices;
- ii. green technology such as water and energy saving initiatives;
- iii. universal and barrier-free design features;

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

8.7 School Sites

8.7.1 Purpose

The purpose of the school sites is to accommodate public and separate schools with associated playing fields required to serve the educational and recreational needs of the community. Chestermere falls within the jurisdictional area of the Rocky View School Division and the Calgary Catholic School Board. These school authorities have identified the requirement for one high school and eight elementary/middle school sites within the Master ASP Area. The distribution of these school sites is shown on the Land Use Concept Map.

8.7.2 Policies

(1) Composition of School Sites

Subject to the policies of this Master ASP,

- i. middle and elementary school sites shall accommodate the school and related playing fields, and
- ii. high school sites shall accommodate the high school, together with major playing fields and facilities.

(2) Development of School Sites

The following table will apply to the size, function and jurisdiction of the subject sites shown on the Land Use Concept Map:

Table 8.7 Waterbridge School Sites

Map Symbol	Jurisdiction	Function	Size
RV	Rocky View School Division	Elementary School	3.4 hectares (8.5 acres)
		Middle School	4.2 hectares (10.5 acres)
		High School	10.0 hectares (25.0 acres)
S	Calgary Catholic School Board	Elementary School	3.4 hectares (8.5 acres)
		Middle School	4.2 hectares (10.5 acres)

Note:

- a. School Boards may review their various site needs from time to time, and may revise the size and function of a school site as determined appropriate without the need to amend the table.
- b. Elementary and Middle School site sizes comprise a school building envelope and major/minor soccer fields but no ball diamonds.

(3) Design of School Sites

With the Outline Plan and Land Use Amendment application for an area containing a school site, a concept plan showing the site design on a school site should be prepared by the applicant, and accepted by the school board and/or the Town, that includes:

- i. building locations;
- ii. recreational facilities;
- iii. access and drop-off areas;
- iv. bus loading and unloading areas;

- v. parking areas;
- vi. school building;
- vii. preliminary site grading;
- viii. other information as determined necessary.

(4) Integration of High School

The high school should be integrated with the Town Centre, and the Recreation Centre, in terms of its location, orientation and design.

(5) Integration of Community Centre

As identified on the Land Use Concept Map (Map 7.1), a community centre site of 1.6 hectares (4.0 acres) in size should be integrated with the adjacent school site.



8.8.1 Purpose

The purpose of the recreation centre is to provide for a broad range of recreational programs and facilities to serve the Town. The centre may be located in proximity to the high school and may function as a major destination within the Town Centre. Timing of the development of the centre will be determined in the future. The Town's Facilities and Amenities Plan will inform and guide the development of the Recreation Centre.

8.8.2 Policies

(1) Provision of Recreation Centre

Subject to the policies of this Master ASP, a recreation centre owned and operated in accordance with the Facilities and Amenities Plan should be provided for in proximity to the high school.

(2) Size of Recreation Centre

The recreation centre site shall comprise an approximate 4.0 hectare (10 acre) site; although, its size may vary depending upon the determined land requirements and design of the centre in accordance with the Facilities and Amenities Plan.

(3) Design of Recreation Centre

The recreation centre should be comprehensively designed on the site, and may be integrated with the high school, in accordance with the Facilities and Amenities Plan.

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

8.9 Emergency Services

8.9.1 Purpose

Emergency Services may need to be expanded into the Waterbridge Master ASP area with the location of an Emergency Services site to be determined at the ASP Stage.

8.9.2 Policies

(1) Provision of Emergency Services

Specific needs and locations of sites shall be identified at the Area Structure Plan stage through Consultation with Chestermere Emergency Services.

Distinct Identity

- Commercial Vitality
- Employment Opportunities
- Housing Diversity

Neighbourhood Focus

Recreational Amenities

- Educational Needs

Public Facilities

Wetland Conservation

- Balanced Transportation
- Pedestrian Circulation
- Future Transit Service

Stormwater Management

- Utility Infrastructure

Sense of Place

- Implementation and Governance

8.10 Major Waterbodies of Waterbridge

8.10.1 Purpose

The Major Waterbodies of Waterbridge include a number of wetlands and their associated upland riparian areas. Town of Chestermere’s MDP supports the conservation of natural areas within the private or public realm where such areas are characterized by significant ecological functions or features. Major Waterbodies are significant elements of the topography that have been incorporated into the Waterbridge waterscape vision. Their ultimate ecological and/or stormwater functions will evolve from Town policies. These features will be conserved and enhanced, or compensated for by the developer, so long as they are not claimed by the Province as Crown Land, and if they qualify for incorporation into low impact stormwater management plans in conformance with the Town’s Wetland Policies.

The purpose of these policies is to recognize and address two major waterbodies within Waterbridge: a large waterbody in the north and a series of waterbodies in the south portion of the Plan. These waterbodies will perform both a stormwater management and recreational function. They will also provide for a wildlife habitat and recreational activity focus for residents



in the area, and an amenity for residential homes backing onto the wetland area. The waterbodies will be subject to the Wetland Conservation policies of the Town and their function will be determined at the Outline Plan Stage.

8.10.2 Policies

(1) Composition of Major Waterbodies

The Major Waterbodies shown on the Land Use Concept Map shall be comprised of:

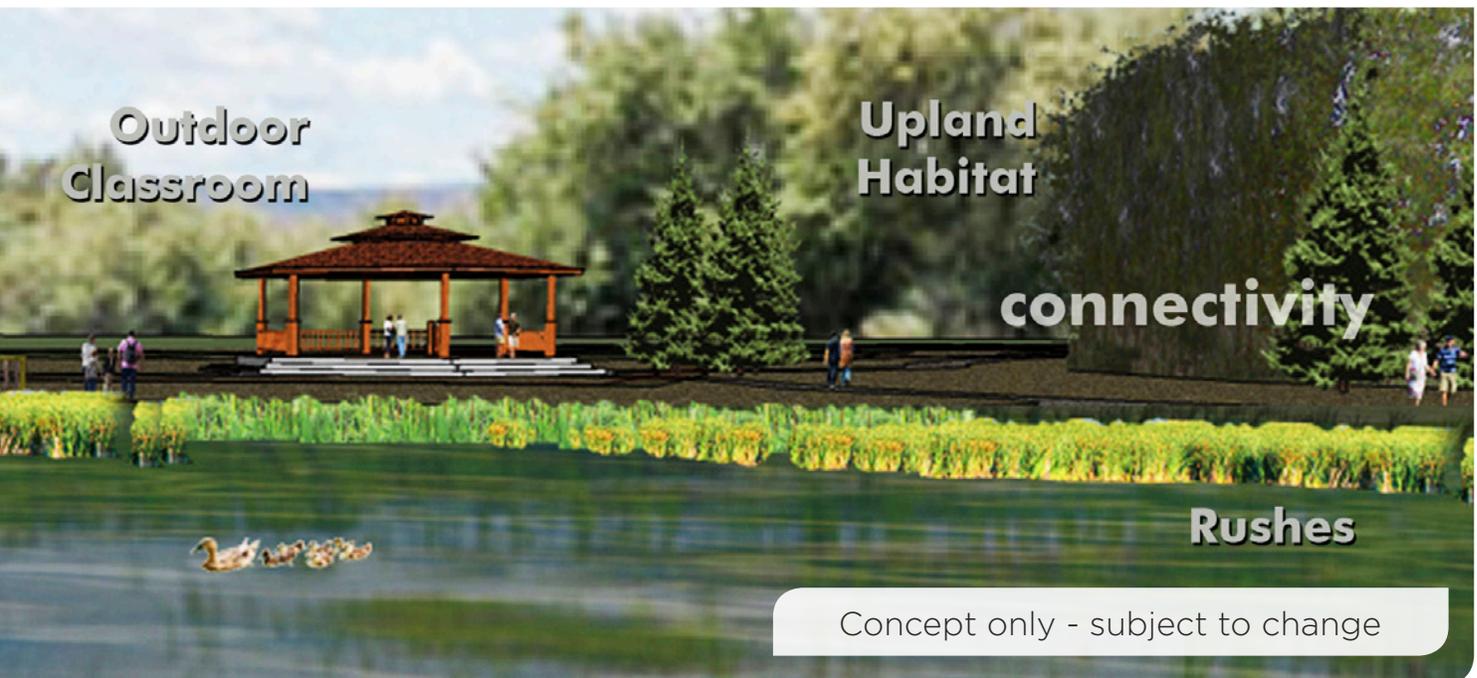
- (a) a large waterbody in the northeast portion of the Master Plan Area;
- (b) a waterbody complex in the south central portion of the Master Plan Area.

(2) Function of Major Waterbodies

The Major Waterbodies shall:

- i. be subject to the Wetland and Stormwater Management policies of the Town which will address their ecological and stormwater functions;

- ii. provide passive recreational opportunities for residents through the provision of pathways, viewing areas and other amenities suitable to the function of the water feature;
- iii. if appropriate, provide the opportunity to serve as a habitat for waterfowl and other wildlife in the area; and
- iv. create an amenity for residential development interfacing with the waterbody.



9.0 DENSITY POLICIES



9.1 Residential Density

9.1.1 Purpose

The purpose of these policies is to ensure that residential development in a community occurs within an acceptable density range. Accordingly, the policies establish a minimum density, and identify the manner in which these densities will be applied to land. Densities within the Master ASP will align with the Calgary Metropolitan Plan over time.

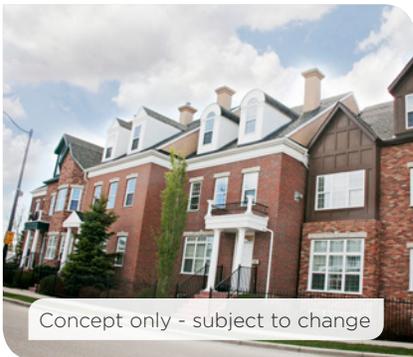
9.1.2 Policies

(1) Minimum Community Density

The minimum residential density required to be achieved in a community shall be 13.4 units per gross developable hectare (5.0 units per gross developable acre).

(2) Gross Density Application

- (a) Gross density requirements shall apply to each Community separately, with no transfer of density between Communities allowed.
- (b) At the Outline Plan and Land Use Amendment stage, the gross density requirements shall apply to
 - i. each ownership area in the Community, unless two or more landowners enter into a satisfactory arrangement that ensures that the density requirements will be met through a transfer of units among the ownership areas, and
 - ii. each Outline Plan and Land Use Amendment in the Community, unless a developer can demonstrate that any inconsistency with the density requirements, can be addressed through a future Outline Plan and Land Use Amendment in the same community.



- (c) The gross density of a specific site that is the subject of a subdivision application may be different from the density requirements of Policy (1) and (2), in recognition that these requirements are calculated for the entire Outline Plan and Land Use Amendment area and do not apply to each phase of subdivision.

(3) Net Density Application

The density requirements for the Town Centre, Village Centres and Neighbourhood Nodes shall be based upon a net density calculation for the sites within these areas.

4) Comprehensively-Developed Sites

- (a) For comprehensively-developed sites in which more than one dwelling unit is located on the same parcel of land, the density calculation shall be based upon the following:
 - i. the actual number of dwelling units existing on the site, where the site is developed;
 - ii. 75 percent of the maximum density possible under the land use district in effect, where the site is undeveloped.

(5) Innovative Housing Projects

For innovative housing projects involving secondary suites, live/work units or other unique housing forms, the application of density shall be determined on a case-by-case basis having regard to the need for consistency and equability in the calculation.

(7) Special Density Situations

Notwithstanding the density policies in this section, the Town may establish either

- i. special density areas, or
- ii. density bonusing systems

to replace the standard minimum or maximum density requirements in accordance with the Municipal Development Plan.

(8) Conformance to the Calgary Metropolitan Plan

Should the Town's MDP be amended to align with the density targets in the Calgary Metropolitan Plan, a Waterbridge Master ASP amendment may be required.

A density in the range of 5-7 units per acre... will support the provision of public spaces and infrastructure, maintain an overall low-density character, and encourage higher-density housing types in proximity to Village and Town Centres

(MDP 3.2.4)

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

9.2 Housing Form

9.2.1 Purpose

The purpose of these policies is to provide for a range of housing types within Waterbridge that reflects the distinctiveness and small town image of the Town while providing for consumer choice and diversity to meet market demand. The predominant housing form in Waterbridge will be single-detached dwellings. Multi-unit and innovative housing will be allowed to locate on a more limited and select basis, preferably on sites within neighbourhood nodes, village centres, the Town Centre and the mixed use corridor, in accordance with the Town's Design Guidelines.

9.2.2 Policies

(1) Single-Detached Dwellings

Single-detached dwellings shall represent the predominant housing form in a community.

(2) Multi-Unit Dwellings

- (a) Multi-dwelling residential dwellings shall locate on a more limited and select basis within communities and predominantly in locations that support activity centre and mixed use corridor development.
- (b) Multi-dwelling residential dwellings should
 - i. be sensitive to the context of adjacent development,
 - ii. comprise low to medium density development projects, and
 - iii. have a strong street presence.

(3) Alternative Housing Forms

- (a) In addition to single-detached dwellings and multi-dwelling development, alternative forms of housing shall be encouraged and supported within a community in order to meet the needs of different lifestyles.
- (b) Alternative forms of housing may include, but are not restricted to
 - i. secondary suites,
 - ii. “live-work” housing,
 - iii. garden suites,
 - iv. mixed-use housing, and
 - v. mid-rise housing.



10.0 RESERVE POLICIES

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance



10.1 Creditable Reserve

10.1.1 Purpose

The purpose of these policies is to provide for the dedication of reserve land in order to meet the educational and recreational needs of the community in accordance with the maximum 10 percent requirement of the Municipal Government Act. Creditable reserve (i.e. municipal reserve, municipal and school reserve) owing on lands being subdivided in a community will be dedicated as reserve land in the full amount owing, rather than being paid as money-in-lieu of land. Moreover, reserve owing will be retained in the community in which it is dedicated, and not transferred to other communities, except in the case of a high school or recreation centre. Reserve owing in the Business Park or Town Centre may be dedicated as land, acquired as money-in-lieu of land, and/or applied to any community.

10.1.2 Policies

(1) Dedication of Creditable Reserve Land in Communities

Creditable reserve owing through the subdivision process on lands within a Community should be dedicated as reserve land within that community, rather than being acquired as money-in-lieu of reserve land or transferred to another community.

(2) Dedication of Creditable Reserve Land in Town Centre and Business Park

Creditable reserve owing through the subdivision process on lands within the Town Centre or Business Park

- i. should be dedicated in the full amount owing as reserve land, or
- ii. may be transferred to other lands outside of the Town Centre or Business Park.

(3) Dedication of Creditable Reserve Land for Schools and Parks

Creditable reserve land owing through the subdivision process may be dedicated for:

- i. elementary and junior high schools,
- ii. neighbourhood and sub-neighbourhood parks,
- iii. squares, plazas, greens or other local parks,
- iv. linear parks,
- v. naturalized parks, and
- vi. other uses in accordance with the Municipal Government Act.

(4) High School Educational and Municipal Recreational Sites

- (a) Regional educational and recreational sites within Waterbridge such as the high school site, recreation centre site and major park sites, shall, insofar as possible, be acquired through the dedication of reserve land or the purchase of land.
- (b) Reserve land or money-in-lieu of reserve land may be acquired through the subdivision process and transferred between communities for the acquisition of regional educational or recreational sites.

(5) Deferral of Creditable Reserve

The Subdivision Authority may register a deferred reserve caveat (DRC) against the title of a parcel of land owing creditable reserve in order to defer the dedication of this reserve to a future subdivision of the land, provided only that it is determined that the subject lands will retain the potential for future subdivision and do not represent a “terminal parcel”.

(6) Voluntary Dedication of Creditable Reserve

Reserve land may be provided in excess of the requirements of the Municipal Government Act on a voluntary basis for open space use.

New parks and public open spaces will be designed to accommodate the needs of a large and diverse population
(MDP 3.6)

A major new Town Centre Plaza should be provided within a Town Centre to provide a place for Town-wide social activities such as public and cultural events and institutional uses
(MDP 3.6.4)

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

10.2 Environmental Reserve

10.2.1 Purpose

The purpose of these policies is to provide for the dedication of environmental reserve (ER) land in accordance with the provisions of the Municipal Government Act in order to conserve significant natural features in Waterbridge, such as wetlands and watercourses. These areas are considered important for biodiversity and wildlife protection, and to serve as recreational amenities and stormwater management facilities for surrounding urban development. As such, the acquisition of these features as publicly-owned land is considered to be a priority. At the same time, it is recognized that engineering measures will need to be introduced to ensure the long term sustainability of these natural areas in an urban context.

10.2.2 Policies

(1) Dedication of Environmental Reserve

Wetlands, watercourses and other environmentally significant features that qualify as environmental reserve (ER) under the Municipal Government Act, should be dedicated as ER land through the subdivision process.

(2) Retention in Natural State of Environmental Reserve

ER land should be retained in a natural state where possible and practical, while recognizing that engineering and reconstructive measures are often necessary to ensure its long term viability in an urban context.

(3) Voluntary Overdedication of Environmental Reserve

In the case of a significant feature that does not qualify as ER under the Municipal Government Act but has been determined to be advantageous to protect as public land, the Subdivision Authority shall

- i. be receptive to the voluntary overdedication of ER, and
- ii. apply incentive-based measures, in accordance with established policies, to encourage and facilitate a voluntary overdedication of ER where determined appropriate.

(4) Reconstruction of Environmental Reserve

Where a wetland, watercourse or other environmentally significant feature qualifies as ER but needs to be reconstructed (i.e. engineered, graded, landscaped) in order to retain its viability and function in an urban context, such measures should be undertaken by the developer as part of the required land dedication and development process.

(5) Conversion to Environmental Reserve

Where developable lands are converted to man-made ER to enhance the conservation or function of a natural feature, or for some other reason acceptable to the Subdivision Authority, the converted lands shall

- i. be dedicated as ER through the subdivision process in the same manner as bona fide ER,
- ii. be considered, at option of the developer, to be developable land for the purpose of density calculations, and
- iii. be considered to be bona fide ER for the purpose of creditable reserve calculations.

(6) Deferral of Environmental Reserve

In order to facilitate the staging of subdivision, the dedication of ER on a parcel of land may be deferred to a future subdivision of the parcel by means of a Deferred Environmental Reserve Agreement entered into between the Town and the developer and registered against the title of the parcel.



11.0 SUSTAINABLE DEVELOPMENT POLICIES

Distinct Identity
Commercial Vitality
Employment Opportunities
Housing Diversity
Neighbourhood Focus
Recreational Amenities
Educational Needs
Public Facilities
Wetland Conservation
Balanced Transportation
Pedestrian Circulation
Future Transit Service
Stormwater Management
Utility Infrastructure
Sense of Place

Implementation and Governance

11.1 Sustainable Design

11.1.1 Purpose

The purpose of these policies is to provide for measures to encourage, facilitate and evaluate innovative and sustainable community development within Waterbridge. The policies are proactive, and identify future actions to be undertaken as opposed to being regulatory. These actions relate to the introduction of tools and processes identified in the Implementation Process document that are being applied as a means to address sustainable suburban development.

11.1.2 Policies

(1) Sustainable Development Initiatives

In order to encourage, facilitate and evaluate community development that is sustainable and innovative a Sustainable Evaluation Analysis accompanies the Master ASP and should be required for subsequent ASPs.

(2) Sustainable Development Evaluation

Where possible and practical, the Town should apply such sustainable evaluation analysis to ensure the policies of an ASP are meeting the:

- (a) Environmental Principles of the MDP;
- (b) Social Principles of the MDP;
- (c) Economic Principles of the MDP; and
- (d) Governance Principles of the MDP.



Distinct Identity
Commercial Vitality
Employment Opportunities
Housing Diversity
Neighbourhood Focus
Recreational Amenities
Educational Needs
Public Facilities
Wetland Conservation
Balanced Transportation
Pedestrian Circulation
Future Transit Service
Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

11.2 Sustainable Practices

11.2.1 Purpose

The purpose of these policies is to support green technology practices in terms of building construction, recycling facilities and community design. The policies are enabling as they encourage and support energy and resource conservation along with other environmentally sound practices. Sustainable practices considered through these policies would be applied through the land use, subdivision and development approval process. The option of enforcing such practices will remain open for the Town in the future, but may require revisions to the Town's development agreement, the Alberta Building Code and municipal operating budget. Some provincial legislation changes could be required in some cases to permit innovation.

11.2.2 Policies

(1) Waste Conservation

- (a) The establishment of residential and business recycling drop-off sites at convenient locations for recyclable dry waste (i.e. paper, plastic, glass, metal) within the Plan Area should be encouraged.
- (b) A permanent compost for degradable yard waste should be investigated.



(2) Water Conservation

- (a) Developers and builders shall install water-saving fixtures in residential units, and in commercial and institutional developments, in order to conserve water.
- (b) The use of rain gardens, open swales and pervious landscaping, in site design to manage infiltration of stormwater and minimize run off into environmentally critical areas should be encouraged.
- (c) The inclusion of passive rainwater collection systems in site and building design should be encouraged.

(3) Resource Conservation

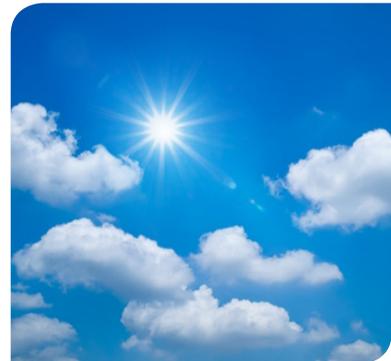
- (a) Builders and homeowners should be encouraged to design, locate and construct buildings in order to reduce resource consumption.
- (b) Resource-saving design and building techniques, such as green building standards optimizing sun exposure, xeriscaping and ecological landscaping that supplements heating and cooling systems should be encouraged for site and building development practices.

(4) Energy Conservation

Street lighting that is energy efficient should be encouraged.

(5) Legislation Changes

- (a) As changes are made to Alberta Legislation, more specific and effective policies and design solutions can be incorporated into future ASPs, Outline Plans and Development Permits within Waterbridge.



12.0 WETLAND CONSERVATION CONCEPT

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

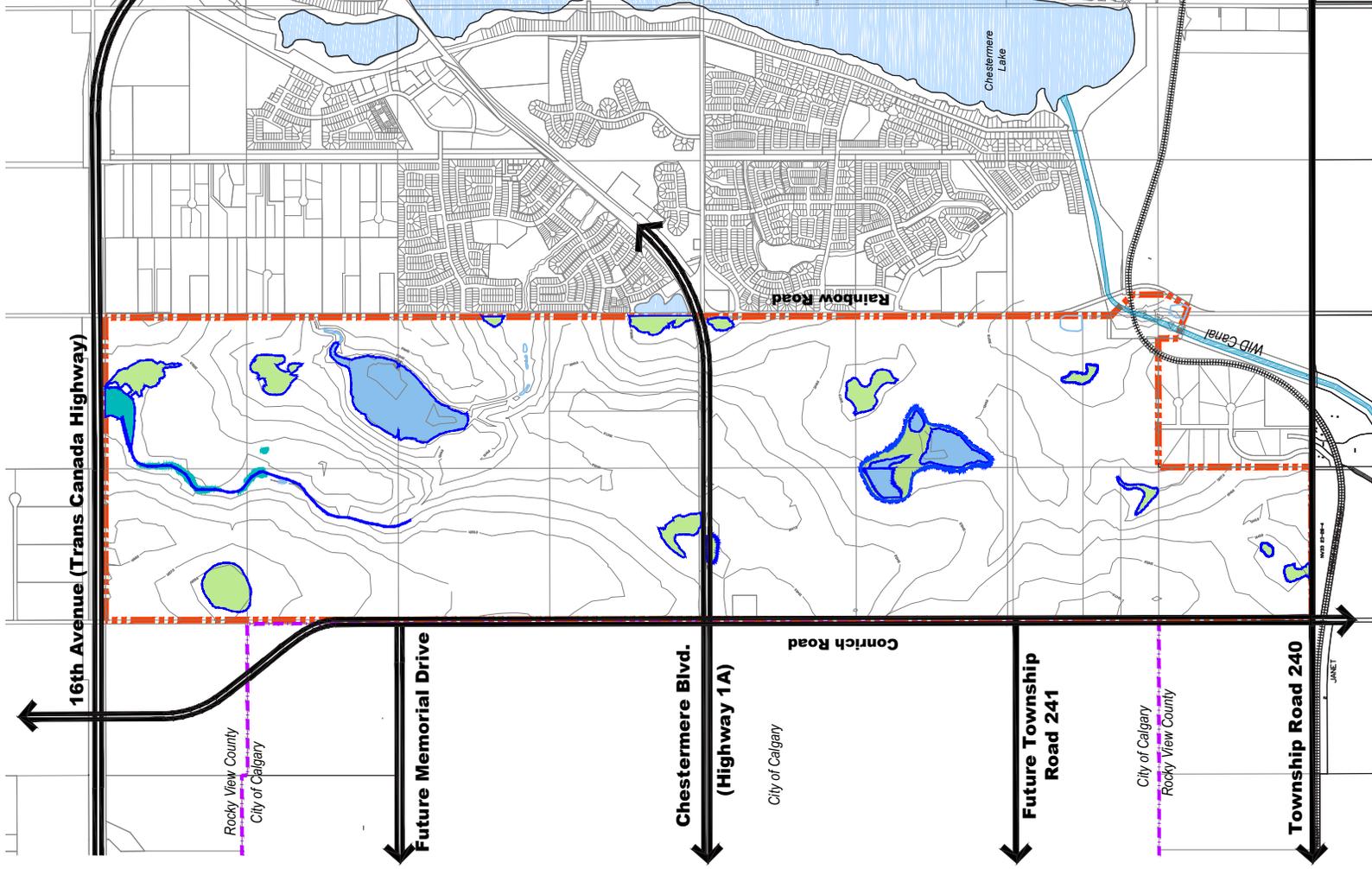
12.1 Wetland Conservation Area Concept Map

The Wetland Conservation Area Concept Map (Map 12.1) identifies potential environmentally significant wetlands within Waterbridge that may be acquired or otherwise protected by the Town. These areas are based on high level BIAs which have helped to guide the land use plan. The map is not all inclusive, and additional wetlands, watercourses or other environmentally significant features may be identified at the Area Structure Plan or Outline Plan stage, if determined appropriate. Wetland and watercourses shown on the map may be reconfigured, or developed, upon further biophysical analysis of the feature, and in accordance with the Town's Wetland Conservation Policies.

12.2 Policy Direction

The Wetland Conservation Area polices are contained in Section 13.0. This section establishes a decision-making protocol to be applied in Waterbridge to address the ongoing retention and conservation of the wetlands. Protocol is described in Figure 13.1 below and involves the preparation of more specific studies and analysis at the ASP stage. Policies in this section are subject to the Town's Wetland Policy and Bylaw.

Map 12.1 Wetland Conservation Area Concept



LEGEND:

 Plan Area Boundary

POTENTIAL ENVIRONMENTALLY SIGNIFICANT AREAS

 Wetland

 Watercourse

Note:

1. All areas and symbols are conceptual only and subject to revision at a more detailed planning stage.
2. Additional ESAs may exist in the Plan area and will be identified in BIAs prepared for the Detailed ASPs.

13.0 WETLAND POLICIES

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

13.1 Wetland Conservation

13.1.1 Purpose

The purpose of these policies is to provide for the long term conservation of environmentally significant features within the Master Plan Area. These features include wetlands, watercourses and uplands; and, in some cases, man-made features that will replicate natural wetland areas as part of the stormwater management system. In accordance with the Town's Wetland Policy, the intent will be to acquire these features under public ownership. Where this is not possible, attempts will be made to protect the feature, on private land. Environmentally significant features were identified through a general Biophysical Impact Assessment (BIA) and have the potential to be Environmentally Significant Areas (ESAs). A more specific BIA may be required, together with supporting analysis and field work, at the Area Structure Plan stage, or the Outline Plan and Land Use Approval stage.

13.1.2 Policies

(1) Evaluation of Wetlands

At the Area Structure Plan stage, or through the Outline Plan and Land Use Amendment process, a Biophysical Impact Assessment, as well as any other analysis determined necessary, may be required to be undertaken to assist in determining the quality of a wetland, watercourse, or other environmentally significant feature, and in identifying the method of acquiring and protecting that feature in an urban context.

(2) Refinement of Wetlands

The exact area and configuration of a wetland, watercourse or other environmentally significant feature to be protected, as shown on the Wetland Conservation Area Concept Map, should be determined at the Area Structure Plan stage or through the Outline Plan and Land Use Amendment process.

(3) Inclusion of Wetlands

Where a wetland, watercourse or other environmentally significant feature is not shown on the Wetland Conservation Area Concept Map but it is determined that it should be acquired or otherwise protected at the Area Structure Plan stage or through the Outline Plan and Land Use Amendment process, the policies of this section shall apply in the same manner as if the feature were shown on the map.

(4) Development of Wetlands

Where it is determined to be unfeasible or impractical to protect a wetland, watercourse or other environmentally significant feature shown on the Wetland Conservation Area Concept Map, the feature shall be considered subject to the Town's Wetland Policy and Bylaw.

(5) Acquisition of Wetlands

As determined feasible and practical, wetlands, watercourses and other environmentally significant features should be

acquired by the Town through all or any of the following methods in order of priority:

- (a) dedication as environmental reserve through the subdivision process;
- (b) dedication as municipal reserve through the subdivision process;
- (c) voluntary conveyance to the Town by the landowner through an incentive-based or bonusing system instituted by the Town;
- (d) purchase of the land by the Town.



(6) Conservation of Wetlands

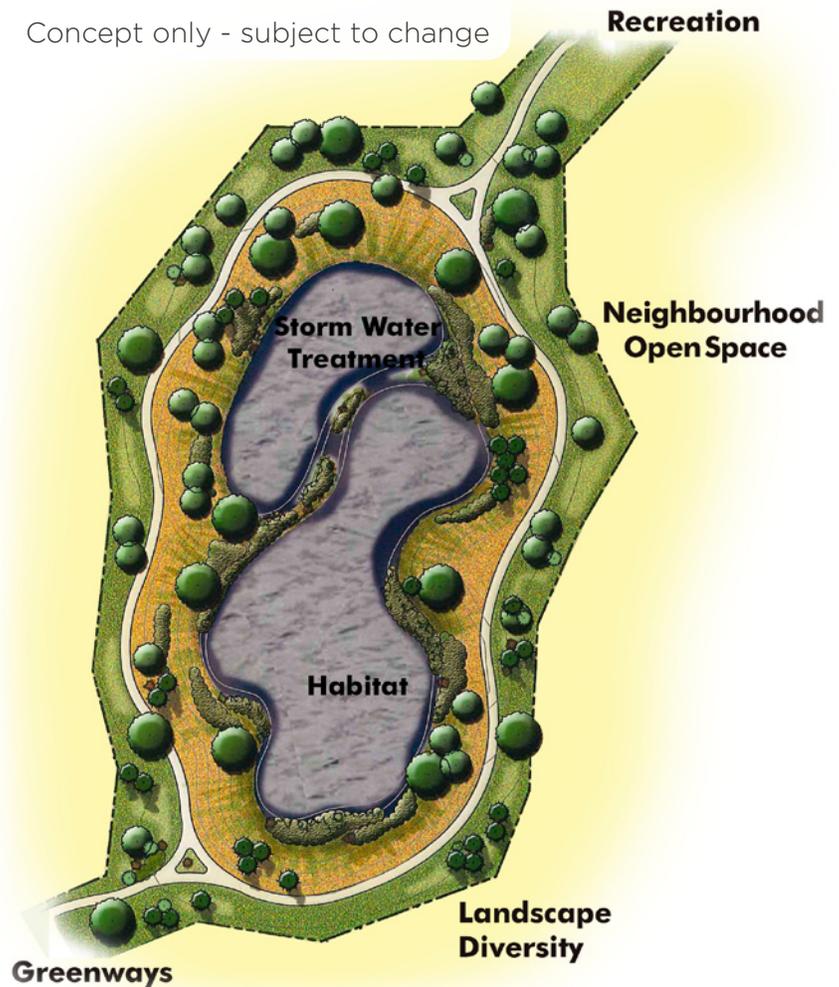
Where acquisition of a wetland, watercourse or other environmentally significant feature by the Town is determined to be unfeasible, conservation of the feature as privately-owned land may be undertaken through all or any of the following methods as determined appropriate:

- (a) mandatory application of land use or subdivision controls at the time of land use, subdivision or development permit approval;
- (b) voluntary registration of conservation easements or other legal mechanisms on title;
- (c) voluntary application of agreements that protect the environmentally significant feature in accordance with the terms of the agreement.

(7) Enhancement of Wetlands

A wetland, watercourse or other environmentally significant feature may be subject to engineering measures, landscape improvements and rehabilitative initiatives in order to enhance its recreational or stormwater management function, and ensure its long term sustainability in an urban context.

Concept only - subject to change



Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

Many of the environmental open space areas in the Town serve as important drainage courses. Natural drainage courses within the Town should be protected whenever possible as a means of managing stormwater within the region as a whole

(MDP 4.2)

13.2 Wetland Integration

13.2.1 Purpose

The purpose of these policies is to provide for the integration of wetlands and watercourses into the urban fabric of Waterbridge in a manner that ensures their long term conservation and function. This will be identified in the appropriate ASP and defined and delineated at the Outline Plan and Land Use Amendment stage through three key planning documents:

- Staged Master Stormwater Drainage Plan
- Wetland Mitigation Plan
- Park Design Concept Plan.

These documents will comprehensively address the approach to stormwater management within the area, the method of incorporating wetlands and watercourses into that approach and the role of the wetlands within the open space system. These documents will need to be finalized prior to the approval of an Outline Plan.

13.2.2 Policies

(1) Master Stormwater Drainage Plan

As addressed in Section 15.0, Stormwater Management,

- (a) a Conceptual Master Stormwater Drainage Plan has been developed for Waterbridge as part of the preparation of this Master ASP, and
- (b) a Staged Master Stormwater Drainage Plan should be prepared and approved in conjunction with an ASP, or an Outline Plan and Land Use Amendment application, for an area within Waterbridge.

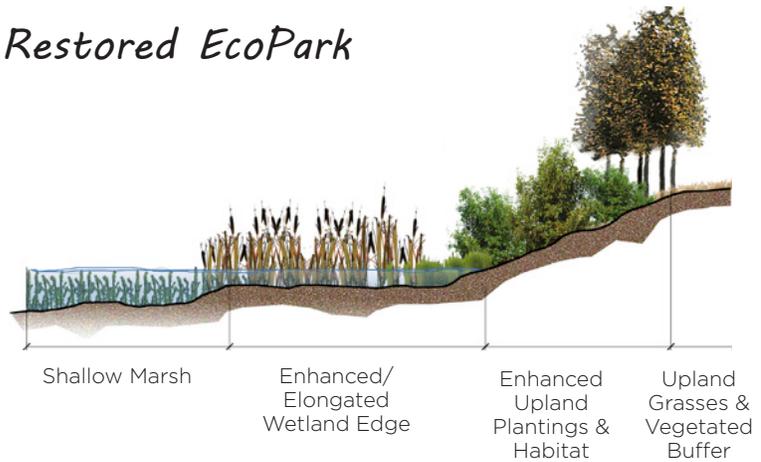
(2) Wetland Mitigation Plan

- (a) Prior to the approval of an Outline Plan and Land Use Amendment application, a Wetland Mitigation Plan should be prepared to address the manner and extent to which wetlands will be integrated with the stormwater drainage system for Waterbridge.

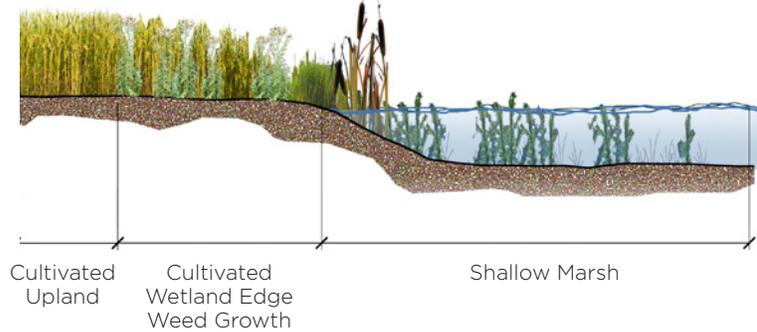
- (b) The Wetland Mitigation Plan shall determine, among other matters,
- i. the wetlands and watercourses to be protected within the area,
 - ii. the method of integrating the wetland or watercourse with the stormwater drainage system, and
 - iii. the compensation to be provided
 - iv. the means of ensuring the long term sustainability of the wetland or watercourse in an urban context.



Restored EcoPark



Existing Disturbed Condition



Concept only - subject to change

(3) Park Design Concept Plan

- (a) Prior to the approval of an Outline Plan and Land Use Amendment application, a Park Design Concept Plan should be prepared to address the incorporation of the wetlands and watercourses into the open space pattern for Waterbridge in a functional and well connected manner that serves the active and passive recreational needs of residents.
- (b) The Park Design Concept Plan should provide for
 - i. a contiguous open space corridor that connects the wetlands and watercourses in Waterbridge along a linear north/south corridor that extends through the central portion of the area,
 - ii. pathways and walkways and other recreational amenities that accommodate public use and access to the wetlands and watercourses,
 - iii. retention of existing natural vegetation where possible, and the enhancement of key wetlands and watercourses as recreational features in the area,
 - iv. detailed park design concept plans that depict the manner and extent of future development of a watercourse and wetland for the benefit of the local residents, and in accordance with its long term stormwater drainage requirements,
 - v. Interpretive signage that describes the wetland conservation and enhancement for educational purposes, and
 - vi. a design and function that align with the Town's Facilities and Amenities Plan.



14.0 STORMWATER MANAGEMENT CONCEPT

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

14.1 Stormwater Management Concept Map

Stormwater management is a foundation of the Waterbridge waterscaped vision. A series of interconnected naturalized drainage courses and manicured canals will provide a unique, low impact solution to stormwater management.

The Stormwater Management Concept Map (Map 14.1) shows the proposed stormwater drainage system and stormwater discharge options for Waterbridge. This map is based upon the analysis prepared for the area by Westhoff Engineering Resources, Inc. and received by the Town, entitled Conceptual Stormwater and Environmental Considerations Leading Towards the Sustainable Management of Stormwater (hereinafter referred to in this Master ASP as “the Conceptual Master Stormwater Management Plan”). The various options for managing stormwater will need to be refined through more specific analysis at the ASP stage, and through the Outline Plan and Land Use Amendment submission process. Stormwater Management within Waterbridge will align with the Town’s Master Drainage Plan.

14.2 Policy Direction

As shown in Figure 14.1, this section provides policy direction to guide the development of the stormwater system in Waterbridge. The policy is general in nature and based upon the Conceptual Master Stormwater Management Plan provided for this area to be refined through new studies and analysis as the detailed planning for the area proceeds. The Waterbridge Master ASP utilizes the Shepard Regional Drainage Plan (SRDP) as the guiding document for stormwater management. Two deviations from the SRDP are proposed to:

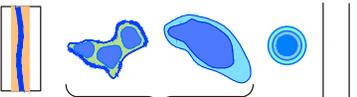
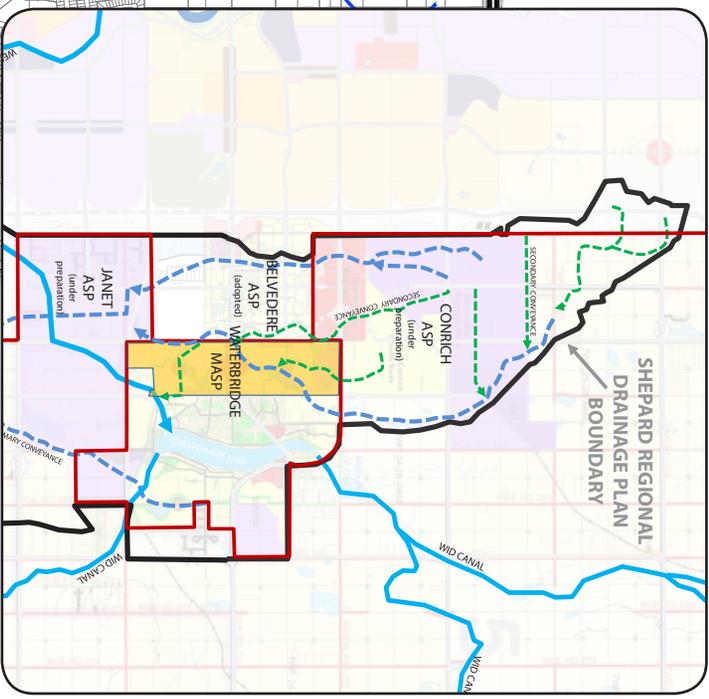
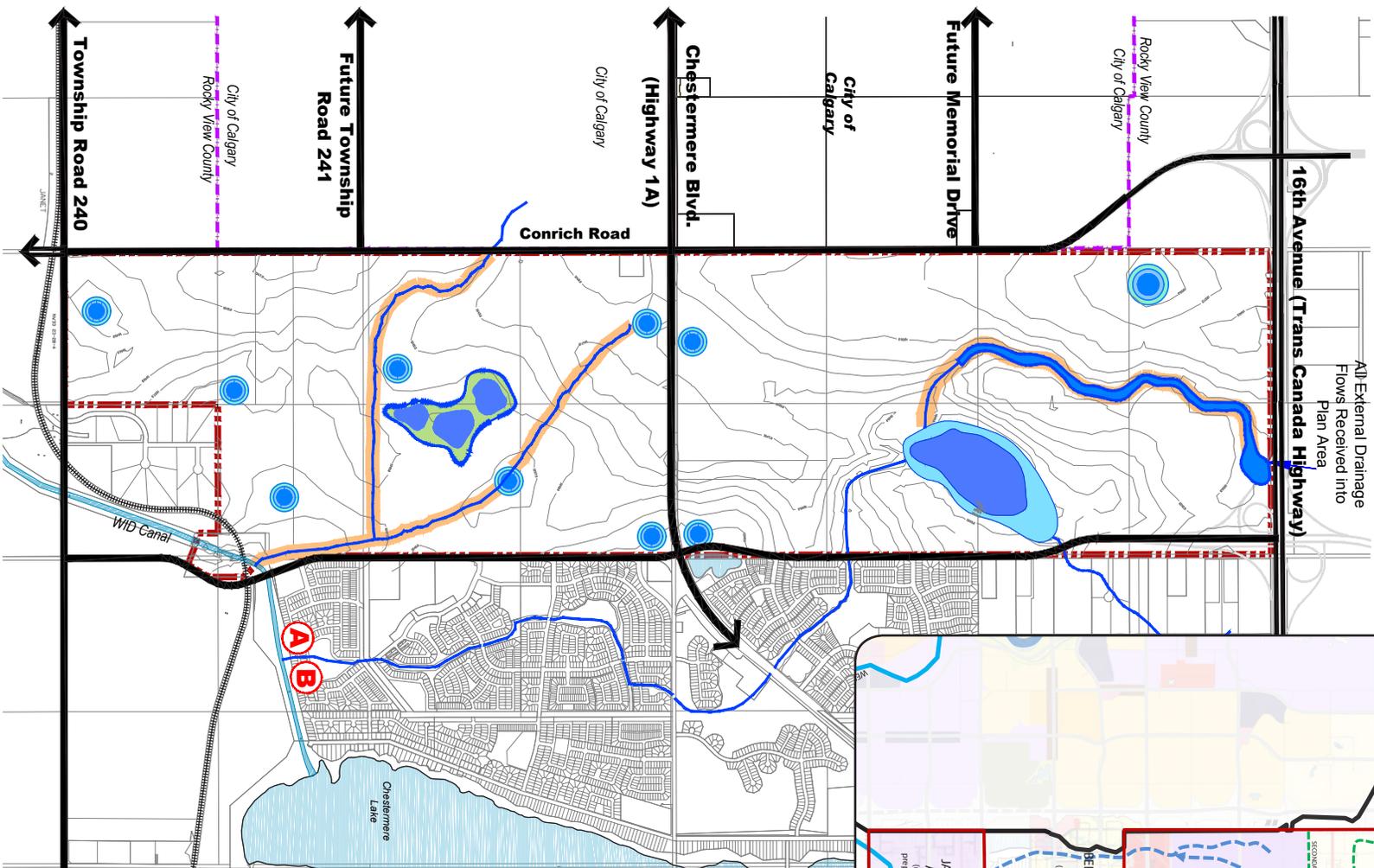
- maintain flows into the Westcreek Channel to ensure the sustainment of this existing overland drainage channel, and
- eliminate a portion of one of the SRDP channels which crosses the City of Calgary municipal boundary. This channel is eliminated due to gravity directing flows north.

The Waterbridge Master ASP recognizes that alternate stormwater management options are being reviewed through the Collaborative Stormwater Management Initiative (CSMI), of which Chestermere Utilities Inc. is a participant. Should this CSMI option be determined by the Town as the best solution for stormwater management, an amendment to this Master ASP will not be required as the policies within the Master ASP acknowledge this alternative option. Notwithstanding the above, Stormwater Management within Waterbridge will be consistent with the town of Chestermere’s Stormwater discharge policies and procedures.



Waterbridge

Map 14.1 Stormwater Management Concept



STORMWATER DISCHARGE OPTIONS

- A** Discharge in accordance with SRDP
- B** CSMI Stormwater Conveyance Option

Note:
Foremain and Gravity Connections are not shown. For a more detailed description of the Stormwater Management System, refer to the Conceptual Master Stormwater Management Plan (2012), Westhoff Engineering Resources Inc.
All areas and symbols are conceptual only and subject to revision at a more detailed planning stage.

15.0 STORMWATER MANAGEMENT POLICIES

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

15.1 Managing Stormwater

15.1.1 Purpose

The purpose of these policies is to provide a framework for the planning, design and construction of the Stormwater System that will manage stormwater in conformance with the Town of Chestermere's Stormwater policies and procedures. The policies create a decision-making framework comprised of the following options for stormwater:

- discharge of stormwater into the Shepard Ditch to the south in the future, conforming to the parameters outlined in the SRDP;
- introduction of the recommendations from CSMI to convey stormwater.

The option of discharging stormwater into the Shepard Ditch is inherently long term and costly. At this time, there is no exclusive commitment to this option. Rather, other options will need to be further evaluated at the Area Structure Plan stage and Outline Plan and Land Use Amendment stage, pending final commitment by the Town to one or more of the stormwater discharge solutions.

15.1.2 Policies

(1) Primary Stormwater Management System

(a) Subject to (2) and (3) below:

- stormwater from Waterbridge may be discharged to the south into the Shepard Ditch once it becomes operational in accordance with the Shepard Regional Drainage Plan, or other plans that amend, repeal or replace that plan in the future;
- the Stormwater Drainage System within Waterbridge shall be designed to facilitate compliance with the Shepard Regional Drainage Plan.



(2) Alternative Stormwater Management Systems

(a) Notwithstanding (1), as an alternative or complementary stormwater option to the Shepard Regional Drainage Plan proposal, the Town shall investigate and, if determined feasible, implement one of the following stormwater management systems in advance of the operation of the Shepard Drainage System, in order to allow development to proceed within Waterbridge:

- i. in season release to the Western Irrigation District (WID) Canal as per WID Stormwater guidelines;
- ii. drainage scenarios as recommended through the CSMI process;
- iii. end of season release to the WID Canal as per WID Stormwater guidelines;
- iv. an alternate management scenario that provides a regional short or long term solution for Waterbridge.

(3) Interim Stormwater Management Systems

Until such time as a permanent Stormwater Management System is implemented, interim solutions may be introduced on a staged basis as development proceeds in Waterbridge that include, but are not limited to:

- i. irrigation or evaporation measures that serve selected development stages to operate under zero discharge conditions;
- ii. design of stormwater facilities to contain the continuous accumulation of stormwater onsite during the irrigation season, allowing for discharge to the WID canal at the end of season, subject to approval by the WID.

(4) Stormwater Release

The Stormwater Discharge System should comply with the following parameters:

- i. stormwater flows generated from development in Waterbridge will not be allowed to discharge into the West Creek Basin, Chestermere Lake or the Western Headworks (WH) Canal, unless the WID amends their current policies;
- ii. stormwater flows to the WID canal following treatment to WID stormwater quality standards;
- iii. interim stormwater management solutions will need to comply with established minimum discharge rates that, in practical terms, equate to a “zero release” level.
- iv. Emergency overland escape routes shall be determined by the Stormwater Management report at the Outline Plan stage.

(5) Best Management Practices

Best Management Practices (BMP's) and Low Impact Development (LID) measures should be implemented in order to improve the quality of stormwater and, of equal importance, comply with the discharge rate requirements.

The feasibility of stormwater re-use for irrigation may be explored at the Outline Plan stage.

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

15.2 Stormwater Conveyance

15.2.1 Purpose

The purpose of these policies is to provide a framework for the subsequent planning and engineering work necessary to implement a stormwater drainage scheme for Waterbridge at the Outline Plan and Land Use Amendment stage.

The policies have been developed in accordance with the direction contained in Section 2.4 of the Municipal Development Plan, which states:

- Stormwater from outside of the 2004 Town Boundary “will need to flow to the south through the City of Calgary’s Shepard Ditch Stormwater Management System and to the Bow River. This will be achieved via natural or man-made channels or a piped storm trunk system to allow the flows to pass under the WH Canal”.
- Natural drainage courses “should be protected wherever possible as a means of managing stormwater within the region as a whole”.
- The Town discourages pumping from stormwater ponds and that all stormwater should be gravity flow.
- “Stormwater management facilities including wet ponds, constructed wetlands or natural wetlands will be incorporated in the drainage system for stormwater storage and treatment purposes”.
- “Stormwater ponds should be sized to serve as large an area as possible to reduce the number of facilities”.

15.2.2 Policies

(1) Stormwater Drainage Scheme

- (a) In accordance with the submitted Conceptual Master Stormwater Management Plan (2012), the overland drainage system within the Master Plan Area shall:
 - i. receive all existing external stormwater flows into Waterbridge, and then allow these flows to intermix with stormwater flows generated in the Master Plan Area in accordance with the most current standards, guidelines and/or policies,
 - ii. accommodate these combined flows through overland drainage facilities consisting of naturalized drainage courses and ponds as shown on the Stormwater Management Concept Map, and

Many of the environmental open space areas in the Town serve as important drainage courses. Natural drainage courses within the Town should be protected whenever possible as a means of managing stormwater within the region as a whole (MDP 4.2)



- iii. integrate the naturalized drainage courses and ponds in a manner that supports and enhances the environmentally significant features in the area.

- (b) Whenever possible and practical, the naturalized drainage courses and ponds for storing and conveying stormwater should be integrated with environmentally significant areas. These may include wetlands and watercourses, as shown on the Wetland Conservation Area Concept Map (Map 12.1) in a manner that retains the function of these areas in an urban context.

Naturalized Drainage Course



(2) Stormwater Management Facilities

- (a) As shown on the Stormwater Management Concept Map, the overland drainage system should provide for:

- i. the retention and sustainability of wetlands in accordance with the Wetland Policies and Bylaw, and the Town's Master Drainage Plan;
- ii. a series of lateral conveyance channels to transport stormwater flows and accommodate pathways and recreational amenities;
- iii. naturalized creeks and wetponds, and constructed wetlands, that complement and support the natural wetlands and watercourses;
- iv. linear lakes to contain and convey stormwater within the area, while providing additional recreation opportunities and amenities.

- (b) The overland drainage system should be designed to support active and passive recreational use and enhance the open space amenities within Waterbridge.

- (c) Stormwater ponds are to be designed for the ultimate conditions. Ponds are to be naturalized with native vegetation outside the operating zone.

- i. ponds supply irrigation demands to landscaped features in open space;
- ii. ponds attenuate peak storm events and limit releases at a controlled rate;
- iii. stormwater quality is controlled upstream of stormwater ponds by the use of forebays or other means to meet AENV water quality parameters;
- iv. stormwater ponds will be situated in locations which make best use of the natural topography eliminating the need for pumping wherever possible.

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

15.3 Staged Stormwater Management Process

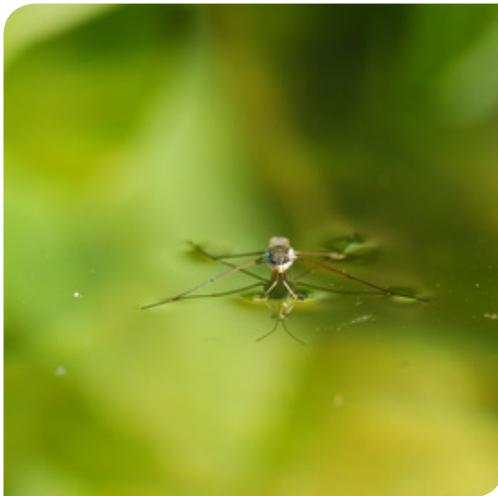
15.3.1 Purpose

The purpose of these policies is to provide a framework for the staging of stormwater facilities within Waterbridge. The staging will occur at the Outline Plan and Land Use Amendment stage. The initial stages will need to be “self-contained” in terms of servicing and development, and the interim stormwater measures will require the ability to be retrofitted in the future to provide for the ultimate stormwater system.

15.3.2 Policies

(1) Staged Master Stormwater Management Plan

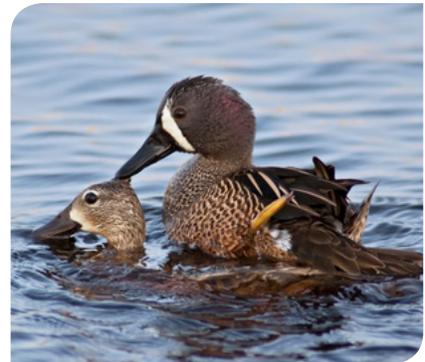
In conjunction with an Outline Plan and Land Use Amendment application, a Staged Master Stormwater Management Plan will be required to be submitted in accordance with the requirements of the Town.



(2) Land Acquisition for Stormwater Management

An Outline Plan and Land Use Amendment application should provide all lands necessary to accommodate:

- i. the ultimate stormwater management scheme, including public utility lots, environmental reserve and municipal reserve, as well as rights-of-way and easements;
- ii. the interim stormwater management and release measures, together with a retrofit plan once the interim solution is no longer required.



(3) Retention of Options for Stormwater Release

Until such time as the ultimate Stormwater Release System is committed to and implemented interim systems shall be designed so that:

- i. the Shepard Regional Development Plan can be implemented in the future;
- ii. optional stormwater drainage and discharge systems, such as the CSMI recommendations, can be introduced as an alternative to or in conjunction with the Shepard Regional Drainage Plan option;
- iii. interim solutions such as crop irrigation, will function in a satisfactory manner, and can be converted to the ultimate solution once that solution is implemented;
- iv. best management practices and low impact development measures can be incorporated into the design of stormwater systems.



16.0 TRANSPORTATION CONCEPT

16.1 Transportation Network Concept Map

The Transportation Network Concept Map (Map 16.1) shows the perimeter grid roads, internal roads and regional pathways, together with other important components of the Waterbridge transportation network.

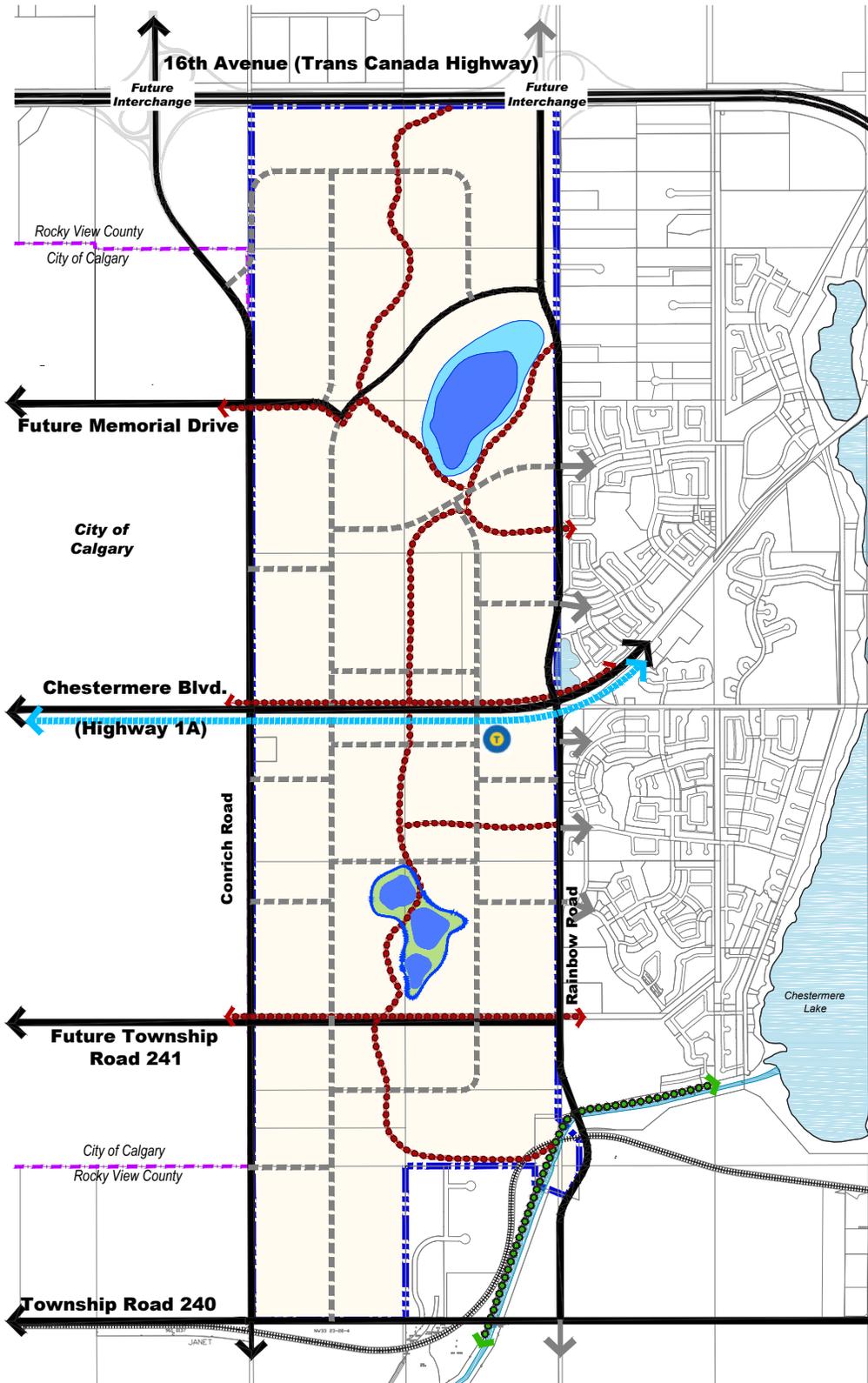
16.2 Policy Direction

Section 17.0 contains policies that are to be applied in conjunction with the Transportation Network Concept Map. As illustrated in Figure 16.1, these policies address the Perimeter Road Network, Internal Road Layout, Pathway System and Public Transit Service relating to Waterbridge. The policies provide a framework for the subsequent preparation of Area Structure Plans or Outline Plan and Land Use Amendment applications.

A Transportation Impact Analysis (TIA) has been undertaken by D.A.Watt Consulting and submitted under separate cover. The TIA reviewed the surrounding regional transportation network and internal arterial and primary collector routes.



Map 16.1 Transportation Map



LEGEND:

- Plan Area Boundary
- PERIMETER GRID ROADS**
 - Freeway/Primary Highway
 - Major
- INTERNAL ROADS**
 - Collector/Primary Collector/ Major Stub
- PRIMARY TRANSIT SERVICE**
 - Primary Transit Route
 - Transit Station/ Park-N-Ride Facility
- PATHWAY SYSTEM**
 - Proposed Regional Pathway
 - Existing Regional Pathway
- MAJOR WATERBODIES**
 - Major Waterbody

Note:
 a. All roads and pathways are conceptual only and subject to change at a more detailed planning stage.
 b. Local roads, local pathways and transit routes are not shown and will be determined through the Outline Plan process.

17.0 TRANSPORTATION POLICIES

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

17.1 Perimeter Grid Roads

17.1.1 Purpose

The purpose of these policies is to provide for a perimeter grid road network that is functional, safe and efficient. Road networks that border Waterbridge and bisect the communities consists of Freeways/Highways and Major Roads that carry traffic through the area and provide access to the communities. The alignment of these roads is shown on the Transportation Network Concept Map (Map 16.1). These roads include: the Trans-Canada Highway (Highway 1); Memorial Drive; Chestermere Boulevard (Highway 1A); Township Road 240; Conrich Road; Rainbow Road; and, a future Arterial Road (Township Road 241). Regional roads will be developed and upgraded as population growth proceeds in the Town.

17.1.2 Policies

(1) Trans-Canada Highway

- (a) No direct access shall be allowed from lands in Waterbridge to the Trans-Canada Highway (Highway No. 1) with access to be provided from the existing intersections and the future interchanges at Rainbow Road and Conrich/Garden Road.
- (b) Lands required for the future interchanges should be defined as part of an Area Structure Plan and Outline Plan and Land Use Amendment application for the Business Park.

(2) Chestermere Boulevard

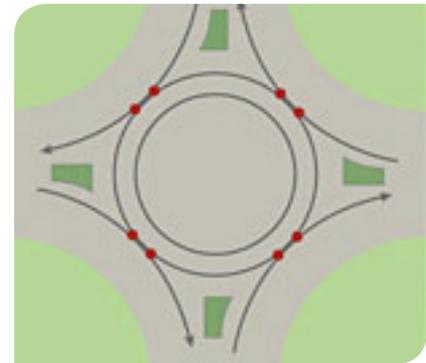
- (a) Subject to 17.1.2(2)c; access and egress to Chestermere Boulevard should be provided in accordance with the Town of Chestermere road design standards.



(b) Subject to 17.1.2(2)c; Chestermere Boulevard shall be considered to form an “Urban Major” road through the Town with its design to integrate with the City of Calgary standard for this road to the west, and

- i. contain appropriate traffic calming measures to address vehicle speeds and flow through conditions and to facilitate pedestrian and bicycle activity for residential and commercial uses.
- ii. as part of the preparation of the Outline Plans for the Town Centre, a detailed design concept, with cross-sections for Chestermere Boulevard, should be prepared.

(c) A Corridor Study addressing the design and function of Chestermere Boulevard will be prepared by the Town for this road to determine its ultimate function and cross-section.



(3) Major Roads

- (a) Major roads should be designed in accordance with the Town of Chestermere Engineering and Design Construction Standards for urban roads.
- (b) Visual screening and sound attenuation should be incorporated into the design of major roads, including Chestermere Boulevard, where required, in a consistent and/or harmonious manner along the affected major road.
- (c) Major roadways should connect to existing and planned roads within the Town and the adjacent municipalities in order to ensure that a coordinated regional network is achieved.
- (d) Road design standards, including road widening requirements, should be identified at the Outline Plan and Land Use Amendment stage.



Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

17.2 Internal Road Layout

17.2.1 Purpose

The purpose of these policies is to provide for an internal road network layout that balances the needs of vehicle and pedestrian traffic in a safe and efficient manner. In this regard, the internal roads (i.e. collector and local roads) should facilitate connectivity and achieve a high quality neighbourhood environment. Connectivity results from a network design with multiple and parallel routes that disperse vehicle traffic flows and encourage walking, particularly for shorter destination and casual walking trips. A quality neighbourhood environment is achieved through a streetscape containing trees and sidewalks, together with on-street parking and uniform building setbacks and facades. These measures are considered integral to the achievement of a sustainable community design.

17.2.2 Policies

(1) Collector Street Network

- (a) Subject to (b), collector streets comprising the internal road network should be provided as shown on the Transportation Network Concept Map (Map 16.1).
- (b) Revisions to the collector street alignment may be made at the ASP or the Outline Plan and Land Use Amendment stages, where determined appropriate without requiring an amendment to the Transportation Network Concept Map (Map 16.1).

(2) Local Street Network

- (a) Local streets comprising the internal road network are not shown on the Transportation Network Concept Map and shall be determined at the Outline Plan and Land Use Amendment stages.
- (b) The layout of the local streets should
 - i. provide for multiple routing options throughout communities,
 - ii. ensure direct and efficient connections between

neighbourhood nodes and other origin/
destination points,

- iii. be sensitively designed in relation to crossings of natural wetlands that are to be preserved,
 - iv. facilitate bicycle riding in the area.
- (c) An internal road network comprised of interconnected streets that create a block-based development pattern should be provided within Neighbourhood Nodes, Village Centres and the Town Centre.

(3) Tree-Lined Streets

- (a) Local and collector roads shall contain street trees in accordance with the approved road design standards of the Town.
- (b) Recognizing the street as an important element of the public realm, the street network comprising a Neighbourhood Node or Village Centre may incorporate a street standard containing trees and sidewalks on both sides of the street and laneway access to avoid vehicle and tree conflicts inherent in a front access.

(4) Traffic Calming Measures

- (a) Roundabouts may be provided as traffic control and calming devices at collector/collector and collector/major intersections within the internal road network, as determined appropriate.
- (b) Other traffic calming measures that encourage slow and deliberate traffic flows within a community may be introduced, as determined appropriate.



Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance



17.3 Pathway System

17.3.1 Purpose

The purpose of these policies is to provide for a regional and local pathway system that accommodates pedestrian and bicycle traffic within Waterbridge and connects to the pathway system within the existing townsite to the east. Regional pathways will be aligned along the north/south open space corridor that extends through the area. Connecting to the regional pathway will be a system of local pathways that allow opportunities for walking around wetlands and watercourses, and within the neighbourhoods and activity centres. Design of the pathway system will be refined at the subsequent detailed stages of the planning process.

17.3.2 Policies

(1) Regional Pathways

- (a) Subject to (b), the regional pathway system should be aligned as shown on the Transportation Network Concept Map (Map 16.1).
- (b) Revisions to the alignment of regional pathways, as shown on the Transportation Network Concept Map, may occur at the ASP or Outline Plan and Land Use Amendment stages where determined appropriate without requiring an amendment to the map and provided that the regional pathway alignment still retains a strong and direct connection along the north/south open space corridor and with the existing townsite to the east.

(2) Local Pathways

- (a) The alignment of local pathways are not shown on the Transportation Network Concept Map but shall be determined at the Outline Plan and Land Use Amendment stage.
- (b) Local pathways may be aligned along significant watercourses, wetlands and open space to provide for public access and passive recreational opportunities in these areas.

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

The Town will anticipate the provision of a future bus transit system when demand and economic feasibility warrants a system (MDP 4.1.4)

17.4 Public Transit

17.4.1 Purpose

The MDP anticipates the provision of a transit system at some point in the future. Therefore, the purpose of these policies is to provide for efficient public transit service at the point in time where population growth and transit demand makes the provision of local public transit feasible. Accordingly, at the Area Structure Plan stage, transit routes should be identified within each community.

17.4.2 Policies

(1) Regional Transit Station

A Regional Transit Station and park and ride facility should be provided along Chestermere Boulevard with the location, size and configuration of the site to be determined at the Outline Plan stage.

(2) Transit Bus Routing

- (a) Public bus transit shall be accommodated along major and collector streets.
- (b) At the ASP stage, the future transit routes should be defined, and at the Outline Plan stage future transit bus stops should be defined; in accordance with the provisions of the Chestermere Transportation Master Plan.
- (c) Transit bus routing and road alignments should ensure that dwelling units are located within a convenient walking distance from a transit stop.

(3) Transit Stops

- (a) Transit stops should be located to
 - i. serve multi-dwelling residential projects and activity centres (such as neighbourhood nodes, village centres and town centre); and
- (b) Transit stops should be capable of accommodating suitable amenities such as benches, shelters, bicycle racks and passenger drop-off areas where warranted.
- (c) At the subdivision stage, consideration should be given to applying restrictive covenants against the title of lots abutting a future transit bus stop in order to prevent driveway and bus stop conflicts from occurring and to notify landowners of future transit bus stop locations adjacent to their property.

18.0 WATER AND SEWER SERVICING CONCEPT



18.1 Water and Sewer Servicing Map

The Utility Servicing Concept Map (Map 18.1) conceptually depicts the utility systems necessary to serve Waterbridge, including the storm sewers, water works and sanitary sewer systems. The map should be referred to when general information on servicing infrastructure is required. As detailed studies on the utility systems have already been completed, these studies should be referred to when detailed information is required on a particular utility servicing system.

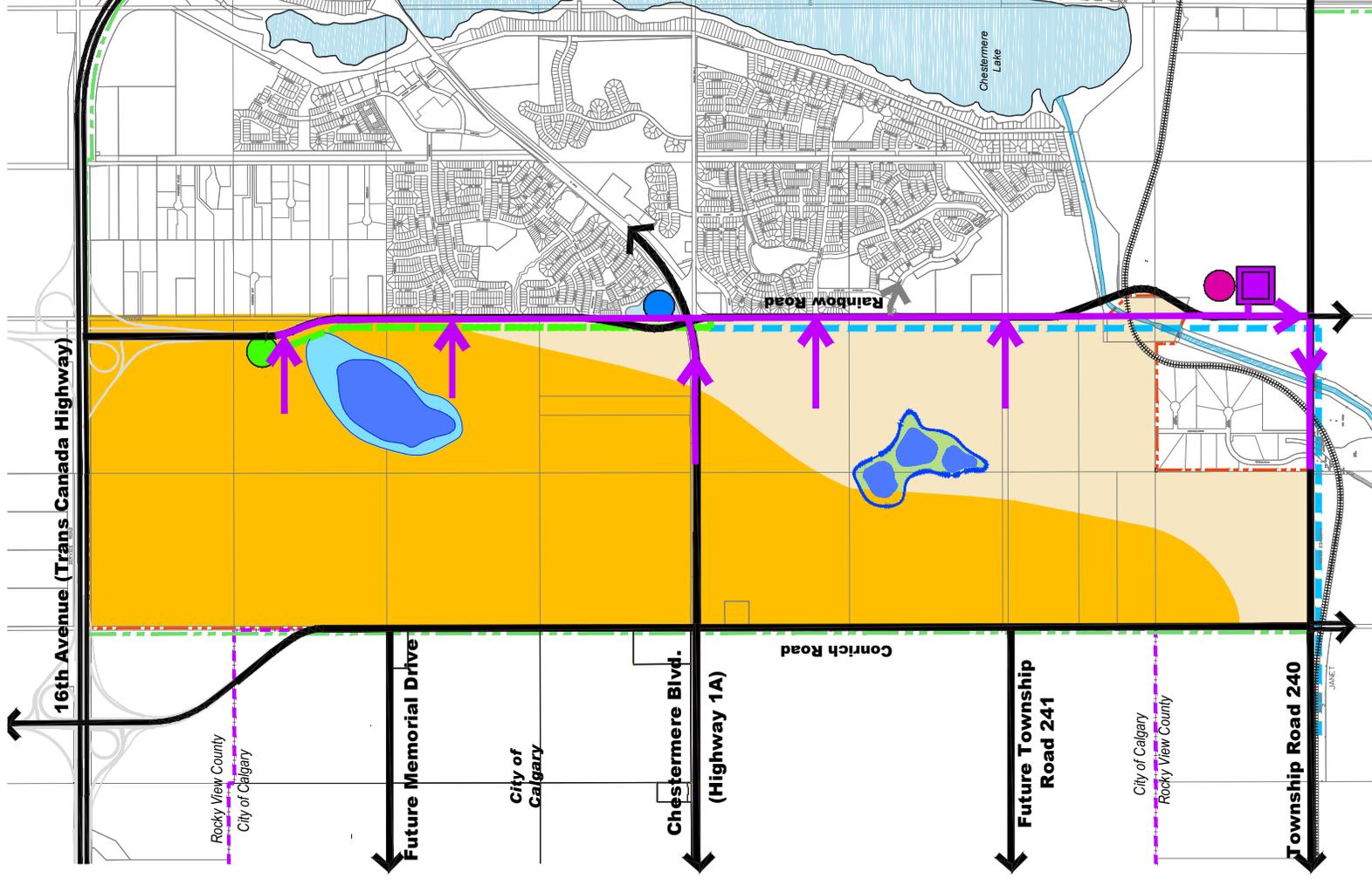


18.2 Policy Direction

Section 19.0 contains policies addressing the provision of water and sewer services within the Town, essential to accommodate development. The policies address water, sanitary sewer and stormwater services, while recognizing that specific utility servicing studies will still need to be undertaken at the ASP and through the Outline Plan and Land Use Amendment process, with these studies to address the staging of water and sewer services as development proceeds.



Map 18-1 Water and Sewer Servicing Map



LEGEND:

Plan Area Boundary

WATER DISTRIBUTION SYSTEM

Existing Water Reservoir

Future North Water Reservoir

Future South Water Reservoir

Existing Calgary Feedermain

Future Feedermain Extension

New North Pressure Zone

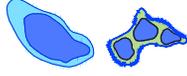
South Pressure Zone

SANITARY SEWER COLLECTION SYSTEM

Future Lift Station

Future Sanitary Sewer Trunk

MAJOR WATERBODIES



Note:

a. The Boundary between the North and South Pressure Zones is schematic only and subject to change at a more detailed planning stage.

b. All areas and symbols are conceptual only and subject to change at a more detailed planning stage.

19.0 SERVICING POLICIES



19.1 Utility Infrastructure

19.1.1 Purpose

The purpose of these policies is to ensure that adequate utility infrastructure is provided to serve urban development within Waterbridge. All development within the area will be required to be fully serviced with piped municipal water and sanitary sewer utilities as well as shallow utilities (gas, electrical and telecommunications). Utilities will need to be constructed in conjunction with development, rights-of-way, easements and utility lots provided as necessary.



19.1.2 Policies

(1) Municipal Utilities

- (a) Urban development shall be serviced with piped municipal water and sanitary sewer utilities.
- (b) The alignment and capacity of water distribution and feeder mains and sanitary sewer trunks and collection mains should be in accordance with established Town standards, based upon the utility servicing studies and analysis undertaken and approved for the subject area.
- (c) Utility rights-of-way and easements shall be required to accommodate municipal utilities as determined necessary.
- (d) Notwithstanding other policies in this Master ASP
 - i. easements, public utility lots and road rights-of-way shall be required to be pre-dedicated and registered across undeveloped land to facilitate orderly and sequential development within different ownership areas, and;
 - ii. may be pre-dedicated and registered or cross undeveloped land in advance of the approval of an ASP or Outline Plan and Land Use Amendment on the subject lands.



(e) Subject to standard cost recoveries, a developer may be required to finance, or enter into an agreement to finance when required, the costs associated with the extension of municipal utilities through or adjacent to a site in advance of development in order to allow for the servicing of the developer's land.

(2) Shallow Utilities

(a) Urban development within the planning area shall be serviced with shallow utilities (i.e. gas, cable, electricity, telephone).

(b) The location of all shallow utilities and the provision of rights-of-way and easements and related line assignments should be addressed to the mutual satisfaction of the Town, the landowner and the utility company.

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

19.2 Water Works

19.2.1 Purpose

The purpose of these policies is to provide for a suitable water distribution system to serve urban development within Waterbridge. Chestermere's existing water supply is provided from one pressure zone, with the Town reservoir currently being served by two feeder mains, one on Rainbow Road and one on Chestermere Boulevard that supply water from the City of Calgary. Remaining capacity of the reservoir and water distribution system is limited. Thus, while development in Waterbridge may be serviced by the existing reservoir subject to available capacity, two future reservoirs have been identified to serve the area. Detailed engineering will determine the exact boundaries of the pressure zones, and the Utility Servicing Concept Map (Map 18.1) describes their approximate location.



19.2.2 Policies

(1) Ultimate Water Distribution System

The water distribution system for Waterbridge shall be designed to adequately and efficiently serve the ultimate development of the area.

(2) Staged Water Distribution System

In conjunction with the approval of each Area Structure Plan, and, if necessary, an Outline Plan and a Land Use Amendment application, a staged water distribution plan should be submitted that determines:

- (a) the ultimate water distribution system to be developed for the area,
- (b) the staged improvements necessary to service the area,
- (c) the method of land acquisition for any off-site water distribution and storage facilities, and the responsibility, timing and cost of these facilities, and
- (d) any other information considered necessary by the Town.



(3) Revisions to Pressure Zones

The boundary between the pressure zones shown on the Water and Sanitary Sewer Concept Map (Map 18.1) are considered to be conceptual only and may be revised at the ASP stage or the Outline Plan and Land Use Amendment stage through the introduction of such measures as interim booster stations, pressure reducing valves and site grading.

(4) Master Utilities Plan

The water distribution system should be designed in accordance with the approved Master Utilities Plan.

Distinct Identity

Commercial Vitality

Employment Opportunities

Housing Diversity

Neighbourhood Focus

Recreational Amenities

Educational Needs

Public Facilities

Wetland Conservation

Balanced Transportation

Pedestrian Circulation

Future Transit Service

Stormwater Management

Utility Infrastructure

Sense of Place

Implementation and Governance

19.3 Sanitary Sewer

19.3.1 Purpose

The purpose of these policies is to provide for a sanitary sewer trunk system to serve the urban development requirements of Waterbridge. Existing sanitary sewer services for the Town consist of a lift station located adjacent to Chestermere Boulevard, just east of Waterbridge, and a sewer force main connection to the City of Calgary. However, the Town is intended to be served by a new staged lift station to be situated at the south end of Waterbridge and a force main connection to Calgary. This lift station and force main will ultimately serve the entire Town, including Waterbridge.

19.3.2 Policies

(1) Ultimate Sanitary Sewage System

The sanitary sewage system shall be designed to serve the ultimate development of Waterbridge in accordance with the Town of Chestermere Standards.

(2) Staged Sewage Collection System

As the existing sewage collection system will be supplemented with the ultimate system for Waterbridge, in conjunction with the approval of each Area Structure Plan, and, if necessary, a land use amendment application, a staged sewage plan should be submitted that determines:

- (a) the maximum servicing capacity of the existing sewage collection system,
- (b) the staged improvements necessary to serve the subject lands,
- (c) the method of land acquisition for any off-site sewage collection system, and the responsibility and costs of construction for the land and improvements, and
- (d) any other information determined necessary to ensure the provision of adequate services.

(3) Master Utilities Plan

The required off-site sewer trunk and collector mains shall be developed in accordance with the approved Town of Chestermere Master Utilities Plan.

20.0 IMPLEMENTATION POLICIES

Distinct Identity
Commercial Vitality
Employment Opportunities
Housing Diversity
Neighbourhood Focus
Recreational Amenities
Educational Needs
Public Facilities
Wetland Conservation
Balanced Transportation
Pedestrian Circulation
Future Transit Service
Stormwater Management
Utility Infrastructure
Sense of Place

Implementation and Governance

20.1 Staging of Urban Growth

20.1.1 Purpose

The purpose of these policies is to provide for a well-conceived and clearly understandable planning approval process for the staging of urban growth in Waterbridge. That process commences with the adoption of this Master Area Structure Plan, which provides a policy framework to guide and direct the future development of the area. However, the Master ASP does not allow for the redesignation of land under the land use bylaw directly. Rather, an Area Structure Plan must first be prepared for a community. The ASP will contain a more specific design for the Plan area, upon which a subsequent Outline Plan and Land Use Amendment application will be based. The ASP can be prepared for an entire community or a logical servicing and development area within that community.

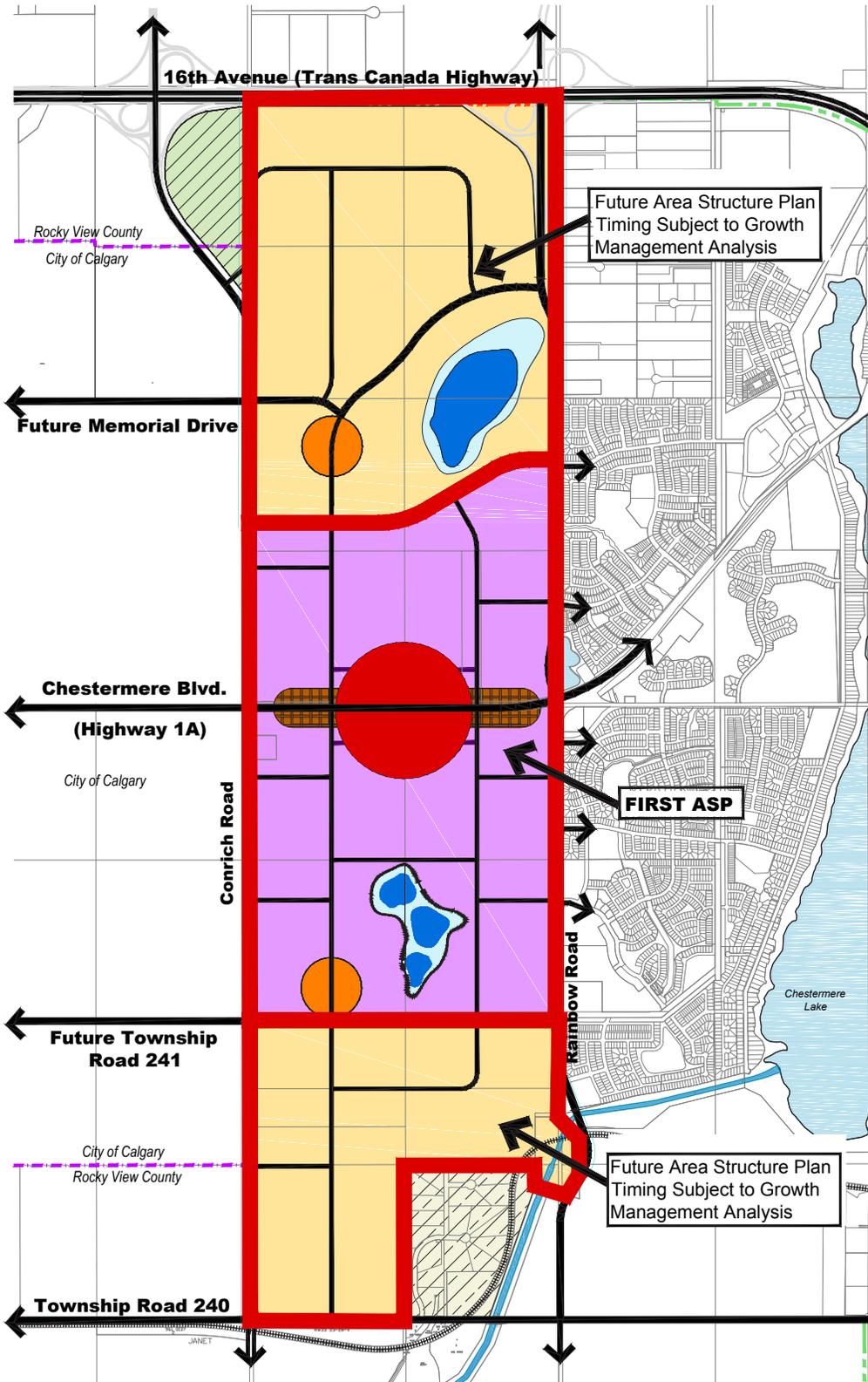
20.1.2 Policies

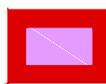
(1) Function of Master Area Structure Plan

- (a) The adoption of this Master Area Structure Plan by Council shall not be interpreted as allowing for the redesignation, or subdivision and development of land, within Waterbridge to proceed.
- (b) Rather, the land use districts applied to land in Waterbridge at the time of adoption of this Master Area Structure Plan shall remain in effect pending the adoption of an Area Structure Plan, whereupon the redesignation of land may then proceed as determined appropriate by Council and in accordance with the policies of the Area Structure Plan.



Map 20.1 Staging of Urban Growth



-  First Area Structure Plan (approx. 1,080ac)
(Expected to be initiated in early 2014)
-  Future Area Structure Plan Timing Subject to Growth Management Analysis
(ASP Boundaries within these areas to be determined and justified in the Growth Management Analysis)

- LEGEND:**
-  Plan Area Boundary
 -  Town Centre
 -  Village Centre
 -  Mixed Use Corridor
 -  Major Waterbodies
 -  Future Redevelopment Area
 -  Future Joint Planning Area

Note:
All areas and symbols are conceptual only and subject to revision at a more detailed planning stage.

(2) Minor Development Prior to an Area Structure Plan

Notwithstanding Policy (1)(a) and (b), the redesignation of land, and the subdivision and development of land, within the Master Area Structure Plan area may be allowed in advance of the adoption of an Area Structure Plan, in order to accommodate an agricultural use, interim use, a temporary use or a minor use that, by its nature,

- (a) comprises a limited and well-defined site,
- (b) does not require piped municipal utility services,
- (c) does not compromise future urban growth in the area, and
- (d) does not result in land use incompatibilities.

(3) Preparation of an Area Structure Plan

An Area Structure Plan may be prepared on behalf of the Town by one or more private landowners owning land within the Plan Area.

(4) Size of Area Structure Plans

- (a) Subject to (b), an Area Structure Plan shall apply to an entire community (Waterbridge Business Park, North, North Central, South Central or South

Community as shown on Map 5.1), and include the portion of the Town Centre within that community.

- (b) An Area Structure Plan may apply to
 - i. the Town Centre, exclusively, or
 - ii. a portion of a community where the Plan Area represents a logical planning, servicing and development unit that coincides with neighbourhood boundaries and encompasses at least 65 hectares of land.

(5) Sequencing of Area Structure Plans

- (a) The first ASP area permitted to proceed with the adoption of the Master ASP is identified on Map 20.1 Sequencing of Urban Growth. The south limit of this first ASP area coincides with the south limit of the Waterbridge South Central community. The north limit is determined by a combination of Stormwater Servicing limitations and transportation access.
- (b) An ASP for all or a portion of the remaining North Central Community, the North Community and /or the South Community may be commenced subject to submission of a Growth Management Analysis.

(6) Growth Management for Area Structure Plans

In conjunction with the completion of an Area Structure Plan, a growth Management Analysis may be required to be submitted to the satisfaction of Council to assist in the evaluation of the plan.

(7) Composition of Area Structure Plans

- (a) An Area Structure Plan shall
 - i. be consistent with, and expand upon and refine, the policies of this Master ASP, and
 - ii. provide sufficient detail and direction so that it can be readily translated into an Outline Plan and Land Use Amendment application.



Waterbridge

- (b) The Town shall provide specific information on the requirements to be contained in an Area Structure Plan to assist in its preparation.

(8) Supporting Information for Area Structure Plans

An Area Structure Plan may require the preparation of supporting information as determined necessary by the Town, including, but not limited to the following:

- i. Transportation Impact Analysis
- ii. Environmental Impact Analysis
- iii. Utility Servicing Analysis
- iv. Commercial Demand Analysis
- v. Density Analysis
- vi. Reserve Analysis
- vii. Fiscal Coordination Analysis
- viii. Transit Coverage Analysis
- ix. Conceptual Plans.



(9) Staging within Area Structure Plans

An Area Structure Plan may contain policies addressing the staging of growth through the subsequent Outline Plan and Land Use Amendment process.

(10) Intermunicipal Referrals

As part of the preparation process, the Town shall ensure draft Area Structure Plans are referred to the City of Calgary and/or Rocky View County. Where such plans contemplate matters of mutual interest.



(11) Financing

The developer will adhere to Development Agreements and requirements in the Town of Chestermere's Off-Site Levy Bylaw.

21.0 INTERPRETATION

21.1 General Definitions

The following general definitions shall apply:

Approving Authority means the Development Authority and Subdivision and Development Appeal Board of the Town of Chestermere, as the context implies;

Council means the Council of the Town of Chestermere;

Creditable Reserve Land means the reserve owing on a parcel of land that is to be dedicated as municipal reserve (MR), school reserve (SR), or municipal and school reserve (MSR), through the subdivision process in accordance with the Municipal Government Act;

Area Structure Plan means an area structure plan prepared within a Master Area Structure Plan area in accordance with the Municipal Government Act and adopted by Council that provides a detailed policy framework and design concept to guide the subsequent preparation and submission of an Outline Plan and Land Use Amendment application;

Environmentally Significant Area means a natural area that, because of its features, is significant from an environmental perspective, and has the potential to remain viable over time within an urban context;

Gross Area means the total land area in hectares of the site;

Local Pathway means a pathway in the order of 1.5 metres in width that circulates within a community and provides localized access and circulation for residents and connections to the regional pathway;

Net Developable Area means the Gross Area less environmental reserve. The net developable area is used to calculate residential densities.

Perimeter Grid Road means a major, expressway or highway that provides access and egress to and from Waterbridge and includes the Trans-Canada Highway (Highway 1), Chestermere Boulevard, Township Road 240, Conrich Road and Rainbow Road; and

Regional Pathway means a pathway in the order of 2.5 metres in width that provides connections for pedestrians and cyclists within, through and between communities.



21.2 Land Use Definitions

The following land use definitions shall apply:

Accessory Use means the use of land, buildings, or structures for a purpose that is incidental or subordinate to the principle use on the site;

Alternate Housing means housing types that involve mixing of uses, such as live work units, different ownership forms, such as condominium or small lots, or unconventional designs, such as back-to-back townhousing and where the housing tends to be affordable and highly efficient in terms of its density and unit yield;

Civic Use means a public or quasi-public use that serves a social, educational, recreational or religious purpose for the surrounding community, and by its nature, is a suitable and compatible use within an activity centre or neighbourhood node and complements the service and social function of these features;

Institutional Use means the use of land, buildings or structures for the purpose of religious, charitable, educational or health, and may include, but is not limited to, places of worship, public and private schools, post-secondary institutions, hospitals, medical clinics, cemeteries and daycare centres;

Light Industrial Use means the use of land, buildings or structures for the purpose of manufacturing, processing, fabricating, assembly, warehousing, storage and distribution of goods or materials that does not create conditions that are determined to have a significant adverse impact or are dangerous beyond the boundaries of the site by way of noise, odours, airborne emissions, outdoor lighting or vibration, conducts its operation primarily within an enclosed building and is not dependent to a significant extent upon outdoor storage of goods or materials as part of its operation, and may include, but is not limited to, indoor storage, depots, warehouses, distribution centres and laboratories;

Local Commercial Use means the use of land, buildings or structures for the purpose of providing retail goods and services on a limited scale to patrons in the area and may include, but is not limited to, restaurants, convenience stores, service stations and gas bars and financial institutions;

Multi-Dwelling Residential Use means an attached dwelling containing two or more dwelling units and includes, but is not limited to, semi-detached dwellings, duplex dwellings, stacked townhouses and apartments, as well as mixed-use commercial and residential projects;

Office Use means the use of land, buildings or structures for the purpose of conducting executive, professional, research, administrative and similar affairs of the business including ancillary services for office workers, and may include, but is not limited to, administrative offices, consultant offices and research offices;

Public Use means the use of land, buildings or structures for the purpose of accommodating public and quasi-public services, and may include, but is not limited to, essential public services, municipal utilities and public facilities;

Recreational Use means the use of land, buildings or structures for the purpose of active or passive leisure pursuits, sporting activities and other customary or usual recreational pursuits and may include, but is not limited to, golf courses and driving ranges, ice skating rinks, sports fields, recreational centres and parks and playgrounds;

Residential Use means the use of land, buildings or structures for the purpose of living accommodation and includes single-detached and multi-dwelling units in a variety of ownership formats such as fee simple and condominiumization;

Retail Commercial Use means the use of land, buildings or structures for the purpose of selling retail goods and services to the final consumer, and includes the storage of merchandise on or about the premises in quantities sufficient to supply the establishment, but does not include secondary commercial uses as defined herein, and may include, but is not limited to, grocery stores, department stores, restaurants, automotive repair centres, entertainment facilities and financial institutions;

Secondary Commercial Use means the use of land, buildings or structures for the purpose of providing retail goods, services or entertainment to the final consumer where the development by its nature requires extensive indoor and outdoor areas for storage and display or carrying out of the activity, entertainment or service and may include, but is not limited to, warehouse stores, automotive sales and rentals and bingo halls;

Secondary Suites means a small-scale ancillary residential dwelling unit developed in conjunction with the primary residence on the site, and includes a studio suite, a carriage house and an accessory suite.

Service Commercial Use means the use of land, buildings or structures for the purpose of providing good and services to the travelling public on sites that are dependent upon expensive and efficient access from roads carrying higher volumes of vehicular traffic and may include, but are not limited to, hotels, motels, restaurants, service stations and convenience grocery stores;

Similar Use means the use of land, buildings or structures for a purpose that is similar in function to a use identified within the Land Use Area shown on the Land Use Concept Map within the Plan and defined herein, but does not meet the definition of that use in all respects;

Single-Detached Residential Use means a detached dwelling usually, but not necessarily located on its own parcel of land.



