

**TOWN OF CHESTERMERE  
POLICY HANDBOOK**

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<b>APPROVED BY:</b> COUNCIL	<b>SUBJECT:</b> Chestermere Design Guidelines
<b>REVISED DATE:</b>	<b>PAGE NO.:</b> 119 pages

**PURPOSE AND INTENT**

The Design Guideline's will inform future Development applications for multi-family residential, commercial, business park, light industrial, and special design areas (gateways, special streets and public realm, town centre, and residential infill development), reduce complexity and create efficiency in the Development approval process. All applicable Area Structure Plan, subdivision, and development permit applications shall comply with the minimum requirements of the Design Guidelines.

**POLICY**

Attached

Resolution Number # 459-11



\_\_\_\_\_  
Mayor



\_\_\_\_\_  
CAO



# CHESTERMERE

# DESIGN GUIDELINES

*Multi-Family Residential, Commercial, Business Park, Light Industrial, and Special Design Areas*  
*Policy #301, December, 2011*





## **ACKNOWLEDGEMENTS**

We would like to thank everyone for their generous, individual contributions and support during the Town of Chestermere Design Guidelines development process.

### **Chestermere Town Council**

Mayor Patricia Matthews

Kelsey Johnson, Patrick Bergen, Heather Davies, Christopher Steeves,  
Stu Hutchison, and Terry Leighton

### **Town of Chestermere Planning Commission (CPC)**

Marty Fulkerth – Chair

Don Roberts (Vice Chair), Dean Guidolin, Mel Foat, Patricia Matthews, Patrick  
Bergen, Christopher Steeves, Stu Hutchison, and Heather Davies

### **Subdivision and Development Appeal Board (SDAB)**

Craig Fawcett – Chair

Doug Curry, Bill Clark, Cameron Mills, Tim Reid, Kelsey Johnson, and Terry Leighton

### **Town of Chestermere Staff**

John Popoff – Director of Development Services

Chen Peng, Elizabeth Armitage, Michelle Lavallee, Karen Allan, Cathy Boddington,  
Seth Whitney, Josh Ross, Dan Olson, Shane Emond, Alan Boucher, Benazir Thaha,  
and Katie Schwing

### **The Development and Building Industry Representatives:**

Rick Carnduff, Dave Abbey, Anul Patel, Pam Manz, Bob Faktor, Don McLeod, Greg  
Brown, Pam MacInnis, Henry Bruch, Peter Lewandowski, Phil Nottveit, Graeme  
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Thiele

Again, a big thank you to all those who participated, and for your commitment to  
continuing to support outstanding quality of design, building, and development in  
Chestermere.

We look forward to your active participation in implementing these guidelines.

### **Consulting Team**

Michael von Hausen, MCIP, MLAUD, CSLA, LEED AP, Project Director  
President, MVH Urban Planning & Design Inc.  
12601 19A Avenue, Surrey, British Columbia V4A 7M1  
Telephone (604) 536-3990 Fax (604) 536-3995  
[www.mvhinc.com](http://www.mvhinc.com), [vhausen@telus.net](mailto:vhausen@telus.net)

In association with

Don Wuori, Wuori Design Consultants  
Cal Srigley, Calum Srigley Design Consultants  
Dolores Altin, Take Out Design, Graphics + Planning

December, 2011



*Mayor's Message: Quality in Design*

*Our design guidelines reinforce Chestermere's unwavering commitment to quality in design, land development, and construction in our community. Chestermere has rapidly developed from a small village to a highly sought-after place to live, work, and play. We want future development to continue to respect our unique town character, enhance our outstanding natural amenities, and contribute to the necessary community amenities that come with healthy growth.*

*While we have established high quality, single-family residential communities in Chestermere, other land uses need design guidelines to ensure that they properly complement and enhance our community. These design guidelines apply to multi-family residential, commercial, business park, light industrial, and special design areas including the gateways to our community. They were developed with Town of Chestermere Staff, through technical meetings and workshops with the Chestermere Planning Commission, the Subdivision and Development Appeal Board, and the development industry. We have ensured that these design guidelines are customized to the needs and aspirations of Chestermere. They are concise, clear, and practical, in order to achieve the goal of high quality design that we all support.*

*I would like to thank all those who took part in developing these design guidelines, attended the open house, or contributed their ideas to Town Council or Staff. We value your contributions and look forward to your continued efforts to make Chestermere a special place.*

---

*Patricia Matthews, Mayor  
Town of Chestermere  
December, 2011*

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# Introduction

## 1.0 Vision, Goals, and Design Principles

These design guidelines will help create an attractive, cohesive, and recognizable built form in Chestermere. These design guidelines apply to multi-family residential, commercial, business park, light industrial, and special design areas including gateways, streets, town centre, residential infill, and lake edge development.

The multi-family residential design guidelines will integrate multi-family with the predominantly single-family nature of Chestermere so that the high quality character is retained and enhanced. Commercial design guidelines will create inviting, compact, walkable town centres; and mixed-use villages that are connected to the surrounding neighbourhoods. Business park and light industrial design guidelines will combine attractive built form with appropriate landscape transitions to adjoining residential areas. *Special Design Areas* guidelines including gateways, streets, residential infill, and lake edge development will help improve the entrances and streets of Chestermere, while requiring specific design to delicately integrate residential infill and lake edge development.

These guidelines will help developers, landowners, builders, administration, and the community by:

- Increasing community value and clarifying the Town of Chestermere's development expectations;
- Providing a clear review and approvals process;
- Assisting developers in providing new developments that are sensitive to context, consistent with the policies of the Municipal Development Plan and other regulations, while allowing for creativity and innovation;
- Providing concise and self-evident directions that contribute to high quality design, construction, and development; and
- Contributing to building an outstanding and livable community.

**Note:** Where there is a significant difference between the *Land Use Bylaw*, the Engineering Guidelines, the Landscape Design Guidelines Manual, and these Design Guidelines, those other documents will prevail. These Design Guidelines will be amended from time to time to respond to consistency or update requirements and in no way shall limit the legal liability of the applicant from compliance with the Alberta Building and Safety Codes, the *Land Use Bylaw*, and any other statutory requirements or regulations.

### OBJECTIVE:

*To enhance the Town of Chestermere's vision of creating a distinctive lake community promoting a safe, family-oriented, sustainable environment.*

### NOTE:

*Outstanding projects that are judged to make a significant contribution to the character and/or vibrancy of Chestermere may be considered even though they may not meet all of the design guidelines requirements.*



# Design Principles

## 1.1 Design Principles

1. Retain natural features and landscapes to benefit the larger community.
2. Develop multi-family areas that complement and enhance the quality of existing residential neighbourhoods and provide a variety of architectural styles.
3. Create complete mixed-use and pedestrian-oriented commercial villages where people can work, play, and shop close to home. (Fig. 1a and 1b)
4. Promote high quality, clean business parks and light industrial developments that respect adjacent uses, provide local employment, and add to the overall quality of the community.
5. Develop safe and social public spaces which provide areas for gathering and interaction between various users and uses.
6. Extend existing recreation pathway networks and amenities into new developments so that the existing and new community benefits from the enhancements.
7. Implement green building guidelines which promote and foster healthy lifestyles.

Fig. 1a and b (below): An important design principle is to create complete and pedestrian oriented Mixed-use Village Centres and Town Centres in accordance with the Municipal Development Plan.





# How To Use This Guide

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## 1.2 Summary Guide to Document

- **Section 1:** This section provides an overview of the design guidelines, the application process, and related Town documents.
- **Section 2:** The essentials for any design submission are outlined here.
- **Section 3:** Detailed design guidelines for multi-family residential, commercial, business park, and light industrial as well as special design guidelines for gateways, town centres, and residential infill developments are described in this section.
- **Section 4:** This section summarizes the design review, approval, and enforcement processes and includes a quick and easy reference that will be used to evaluate applications.

## 1.3 Relationship to Town Documents

These design guidelines will be used within the context of other policy documents and regulations. These documents and regulations include but are not limited to:

- The Town of Chestermere *Land Use Bylaw* and *Engineering Guidelines* that are directly related to these design guidelines, noted where applicable, and supersede these design guidelines where there is conflict;
- The *Municipal Development Plan* (MDP) which provides over-arching policies for the Town of Chestermere;
- Master Area Structure Plans (MASP) and Area Structure Plans (ASP) for sub areas within Chestermere that provide specific area objectives, policies, and plans; and
- Outline Plans that provide further details on specific development proposals.



## How To Use This Guide

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### 1.4 Step by Step to Using This Guide

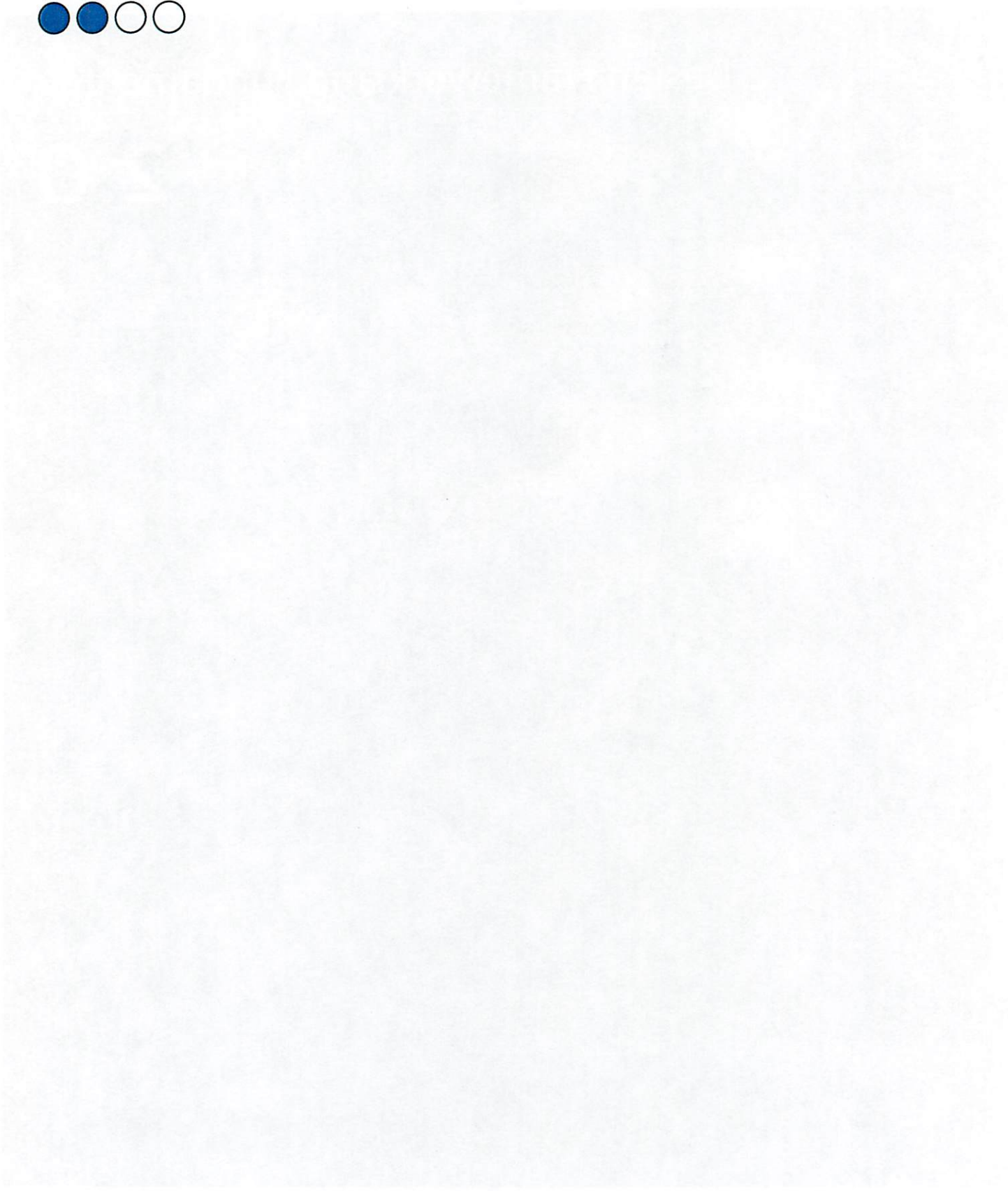
- 1** → **Select the type of land use** that applies to your application: either multi-family residential, commercial (including mixed-uses), business park or light industrial and/or the special design guideline areas;
- 2** → **Review the site essentials in Section 2** to ensure that you have covered the basic requirements in your application;
- 3** → **Refer to the guidelines in Section 3** that apply to your land use (multi-family residential, commercial (including mixed-use), business park or light industrial, and/or special design guideline requirements);
- 4** → **Consider the specific application context and process requirements** for your property in Section 4;
- 5** → **Review the *Guidelines Summary Review* in Section 4** and those elements that are applicable to your project; and
- 6** → **Contact the Town of Chestermere Development Services Department** with any questions and to arrange a pre-application meeting to discuss your development proposal.



# Design Framework and Fundamentals

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# 2.0





# Design Framework and Fundamentals

## 2.1 Site Design Essentials

This section lays out the basic requirements for all applications. The goal is to develop a consistent and clear design review process so that the applicant and the community know what is expected. This section does not apply to Chestermere Station Town Centre or Special Design Areas.

### 2.1.1 Site Analysis and Surrounding Connections

- **Natural features and systems** shall be retained where possible and appropriate including wetlands, creek beds, coulees, and existing trees to conserve Chestermere's natural amenities and ecosystems.
- **Land use context** shall be considered in the design and location of compatible land uses on site and proximity or contribution of community amenities.
- **Existing neighbourhood character** and design of the buildings, parks, and streetscape shall be considered in the application.
- **Weather patterns** shall be considered in terms of dominant winds, seasonal sun angles, and precipitation.
- **Infrastructure** shall be considered in the development design including roads, pathway networks, water, stormwater, wastewater, and solid waste.
- **Stormwater design** shall consider the existing water features and natural flows on the site. In combination with Chestermere and adjacent municipalities, requirements strive to combine the stormwater system design with recreation and wildlife enhancement.
- **Recreation and natural feature connectivity** shall be integrated into site design such that park and trail connections are made between communities and the Town Centre. (Fig. 2)

*The applicant must demonstrate that the basic essentials discussed in this section have been considered and applied appropriately within the development proposal prior to formal review.*



Fig. 2: The existing recreational pathway network in Chestermere shall be extended and enhanced through new high quality development.



# Design Framework and Fundamentals

## 2.1 Site Design Essentials

### 2.1.2 Site Design



Fig. 3: Four season design is important for Chestermere. Design and programming opportunities include amenity additions with new developments. This spray park transforms to a skating rink during the winter months and could be a central component of one of Chestermere's Town Centres, Mixed-use Commercial Villages or a central gathering area in a multi-family residential development.

**Access** shall be located in safe and clearly visible locations for vehicles, pedestrians, and cyclists.

**Signage** shall be integrated into the landscape and part of a building's architectural expression.

**Parking areas** shall be divided into smaller groupings and limited generally to the rear or side of buildings. They should be screened with vegetation and/or land form, especially when adjoining residential areas.

**Storage and delivery areas** shall be located to the side or rear area of buildings accompanied by the necessary screening and fencing that meets the safety, visual sensitivity, and security needs of the site and adjoining neighbours.

**Site interaction** with the street shall be attractive and integrate sidewalks on the public right-of-way as well as landscaping on the private property to define the property boundary, screen parking, and define entrances.

**Parcel edges** not facing the street shall be defined by traditional tree "shelter belts" or fencing; to buffer wind, a screen storage and parking areas where appropriate (outside the Town Centre and more urban areas);

**Lighting** shall be of a *pedestrian scale* and directed to those areas requiring coverage at night within a hierarchy of high, medium, and low-level lighting defined by location, function, and security requirements, while minimizing intrusion on adjoining properties and residential areas.

**Landscape design** shall be appropriate to the multi-family, commercial, business park, light industrial, or special design area so that the development fits into the surroundings, uses native species and drought tolerant plants where possible, and finishes the site planning with a high quality look that adds value to the property and the community.

**Crime Prevention Through Environmental Design (CPTED)** analysis including lighting, visibility, and security features shall be used to minimize any potential for crime associated with the site.

**Four season design** shall include the consideration for weather protection, snow clearing and storage, and building orientation as well as multiple season recreation use and access. (Fig. 3)



# Design Framework and Fundamentals

## 2.1 Site Design Essentials

### 2.1.3 Building Design

**Building design** shall be generally low profile to a maximum of 3 or 4 storeys, to fit into the prairie landscape. With the exception of special landmark buildings or features, buildings shall reflect the context by clustering multiple buildings and using roof and material details to illustrate the scale of buildings and amplify building edges. (Fig. 4a & 4b)

**Building scale** shall be an important consideration when fitting into the character of Chestermere. Low-rise multi-family, commercial, business park and light industrial buildings need to be more divided (horizontally and vertically to break down the massing).

**Building orientation** shall take advantage of solar warmth as well as views, and protect against wind by using vegetation and land form.

**Building materials** and colour shall complement adjoining developments, except in special landmark situations, and can be contemporary. Traditional building materials as brick, stone, wood, and aluminum are encouraged. (Fig. 4c)



Fig. 4a and 4b: Appropriate commercial and industrial buildings will be designed to present a low profile and highly articulated frontages on main streets, unless a landmark building in a Town Centre or Village Centre.

Fig. 4c (right): Appropriate multi-family building design requires high quality durable materials and careful articulation and modulation of the building to fit into Chestermere's primarily single-family context.



# Design Framework and Fundamentals

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## 2.1 Site Design Essentials

### 2.1.4 Special Design Guidelines Areas

Town and community gateways shall be designed to celebrate the Town and individual community entries with distinct edge definitions by appropriate landscaping and appropriate monument signage that fits into the landscape.

Refer to existing design guidelines for Chestermere Town Centre to direct its unique requirements including site and building design.

Potential residential infill projects shall require special attention to retain prized views as well as existing building form and character.

The Chestermere Lake edge shall require special attention so that the natural edge is maintained and enhanced with any development. (Fig.5)

(See Section 3.3 for further details on Special Design Guideline Areas).



Fig. 5: Chestermere Lake is a dominant and unique natural amenity in Chestermere that requires special design guidelines to protect and enhance its edges.

# Design Framework and Fundamentals

## 2.2 Green Infrastructure and Building Features

This section highlights the advantages of site conservation measures and green building techniques to enhance value, reduce costs and maximize environmental integrity in site development. Further information on green building and site development is available through the Canada Green Building Council (CGBC) at [cagbc.org](http://cagbc.org).

### 2.2.1 Site Conservation

- Extend natural off-site features onto the project site including water courses, wetlands, and vegetation to enhance local character, wildlife habitat, and environmental integrity; (Fig. 6)
- Install environmental controls (ie. sediment fencing) to reduce or eliminate any potential environmental impacts of construction;
- Minimize construction disturbance by protecting areas (ie. tree retention areas) with temporary snow fencing located at the edge of the branches, before any site clearing or disturbance occurs; and
- Set temporary snow fencing up outside environmentally sensitive areas (water courses and wetland conservation areas) prior to construction.

#### OBJECTIVE:

*The intent is to integrate “green” building features to reduce cost and increase value to private property as well as contribute to the overall health and quality of life in Chestermere.*



Fig. 6: Retention and enhancement of natural features is important to create development that fits with the characteristic landscape of Chestermere.



## Design Framework and Fundamentals

### 2.2 Green Infrastructure and Building Features

#### 2.2.2 Stormwater

- Require storm management detention ponds on site and require them to incorporate wildlife and recreational programming as part of the design requirements in accordance with the Shepard Regional Drainage Plan (SRDP); (Fig. 7)
- Use native vegetation to integrate the design into the existing topography, provide an attractive amenity, and reduce unnecessary longer term maintenance costs;
- Encourage the use of permeable pavers or alternative materials in parking areas to increase groundwater recharge and reduce peak flow runoff;
- Use grassed swales with additional natural planting for natural drainage to reduce runoff and reduce underground infrastructure requirements;
- Encourage grey water (non-toilet water) to be recycled on site for irrigation purposes to reduce water waste;
- Ensure that post-development stormwater flows are consistent with the Shepard Regional Drainage Plan; and
- Ensure site planning and building design for flood proofing where required.

Fig. 7: Naturalized stormwater design can combine a functional stormwater detention requirement with recreation and wildlife enhancement.



# Design Framework and Fundamentals

## 2.2 Green Infrastructure and Building Features

### 2.2.3 Water

- Choose drought resistant native plants for landscaping to reduce water use; (Fig. 8a and b)
- Mulch planting beds to a depth of 50 mm to reduce water loss;
- Use recycled water/rainwater for irrigation (e.g., rain barrel program);
- Incorporate water use reduction features in buildings and on-site (e.g., install low-flow fixtures etc.); and
- Use stormwater pumps for irrigation.



Fig. 8a and b: Increase water conservation by using native plants of Southern Alberta, and using more native grasses and less lawn area.





## Design Framework and Fundamentals

### 2.2 Green Infrastructure and Building Features

#### 2.2.4 Energy

- Use renewable energy features such as wind, solar and geothermal energy where feasible; (Fig. 9a)
- Optimize natural lighting of buildings; (Fig. 9b)
- Improve energy efficiency through design and building solar orientation in winter, while providing trees and landscaping to reduce cooling costs during the hotter summer months; (Fig. 9c)
- Include energy efficient fixtures in buildings;
- Use roof material to minimize heat gain in summer and optimize heat gain in winter months;
- Utilize programmable thermostats in individual living or commercial units; and
- Use energy efficient lighting for internal and external lighting.

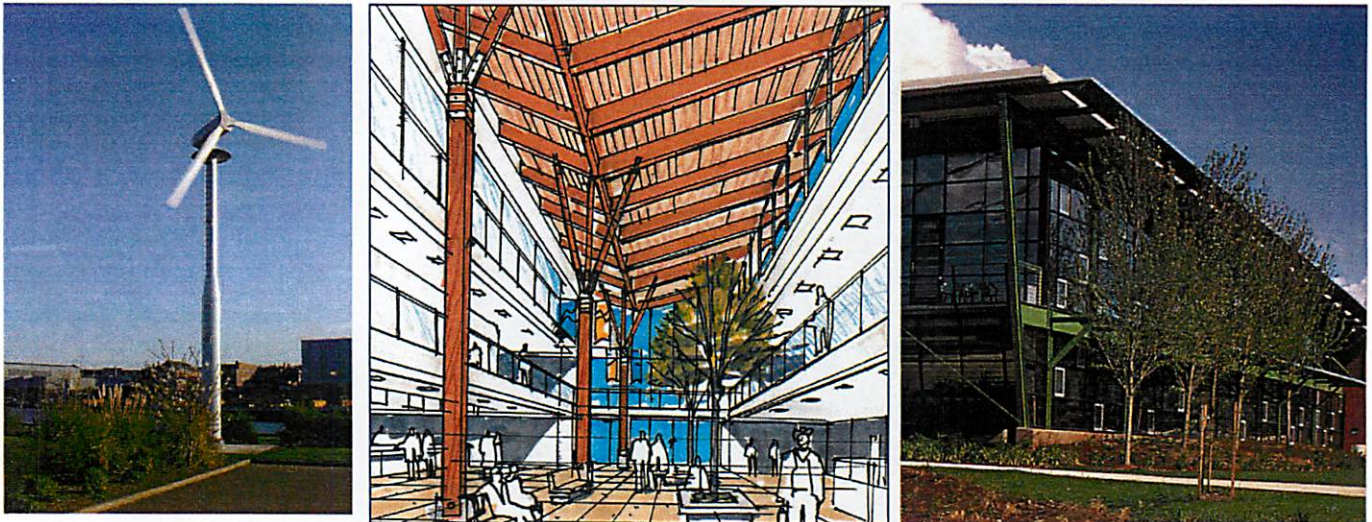


Fig. 9a, b, and c: Bringing natural light and air into a building can conserve energy use and create a more healthy indoor environment. Reflective roof materials and shade from neighbouring deciduous trees can also reduce heat gain in summer months, while permitting passive solar heating in winter. Consideration of alternative energy sources to supplement demands can create local green energy that is cost effective.

# Design Framework and Fundamentals

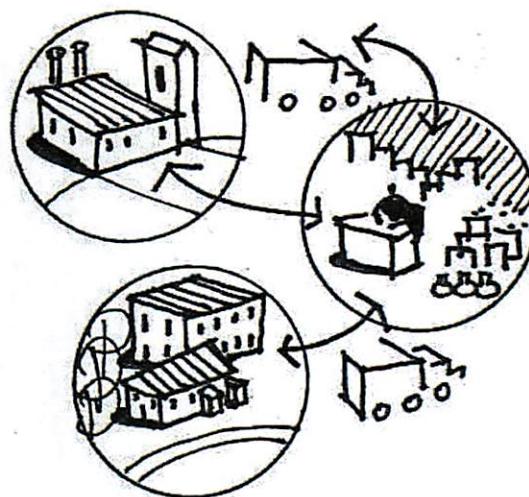
## 2.2 Green Infrastructure and Building Features

### 2.2.5 Construction Waste and Materials

- Use construction materials with recycled content where possible;
- Ensure construction waste is recycled and/or reused; and
- Encourage a comprehensive waste reduction program among landowners that can provide recycling and reuse in close proximity of industrial and commercial owners and/or tenants. (Fig. 10a and b)



Fig. 10a and b: Recycling waste and materials, especially in a business park or a light industrial area can not only reduce waste but provide add-value raw material for local businesses.





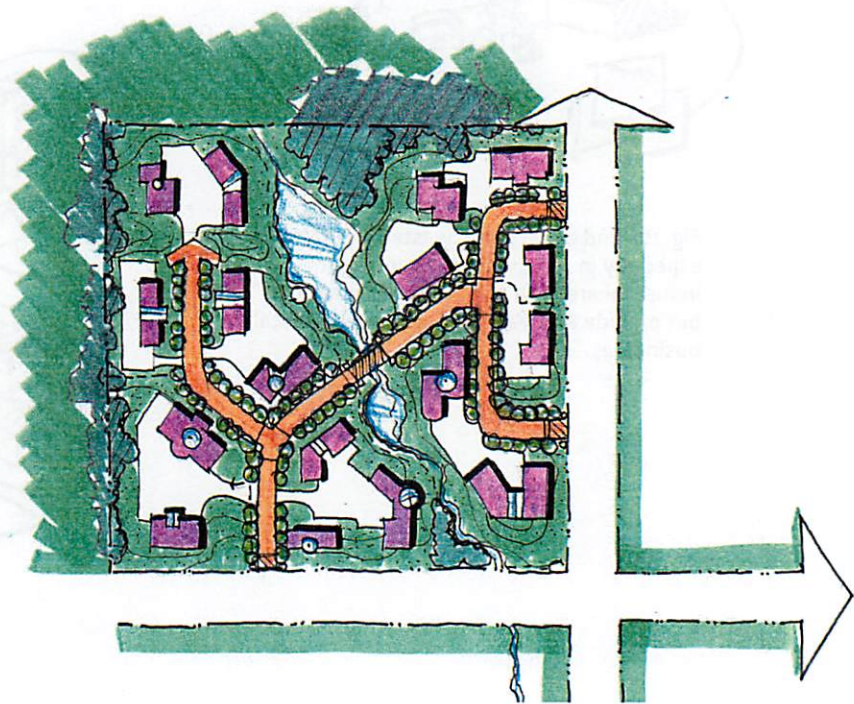
## Design Framework and Fundamentals

### 2.2 Green Infrastructure and Building Features

#### 2.2.6 Building and Site Design

- Improve air quality by using materials that produce fewer off-gases for such elements as flooring and paint;
- Design windows so they can be opened for fresh air circulation;
- Install bicycle parking spaces for each multi-family residential, business park, large commercial or light industrial uses over 1000m<sup>2</sup>;
- Provide flexibility in design and universal accessibility of units so that occupancy may change over time (e.g., live/work units).

Fig. 11: Master site planning including recreation, stormwater management, wildlife conservation, clustered parking, and multi-modal transportation planning considerations can create a distinctive, and high quality development.



# Design Framework and Fundamentals

## 2.2 Green Infrastructure and Building Features

### 2.2.7 Trees and Vegetation

- Incorporate a variety of drought-resistant, native trees and vegetation into the planting plan to minimize maintenance and integrate planting design into the natural patterns of the landscape; (Fig. 12a).
- Retain significant existing trees and vegetation and incorporate trees into site planning to screen storage, loading, and parking areas; (Fig.12b)
- Retain associated vegetation at the base of trees to minimize disturbance of existing soil conditions and to protect the tree roots from compaction and damage;
- Consider tree relocation and replacement in situations where trees can not be retained; and
- Extend existing planting patterns and connections to adjoining properties.



Fig.12a and b: Deciduous trees can provide valuable shade in summer and coniferous trees can protect against cold winds in winter, collectively reducing energy consumption and contributing to seasonal comfort.



## Design Framework and Fundamentals

### 2.2 Green Infrastructure and Building Features

#### 2.2.8 Mobility and Land Use

- Link development to adjacent sidewalks, lake trails, and pathways along the roads; and
- Provide convenient, safe, and accessible pedestrian and bicycle connections to transit stops in the area and the comprehensive trail system where a Chestermere trail network exists. (Fig. 13)



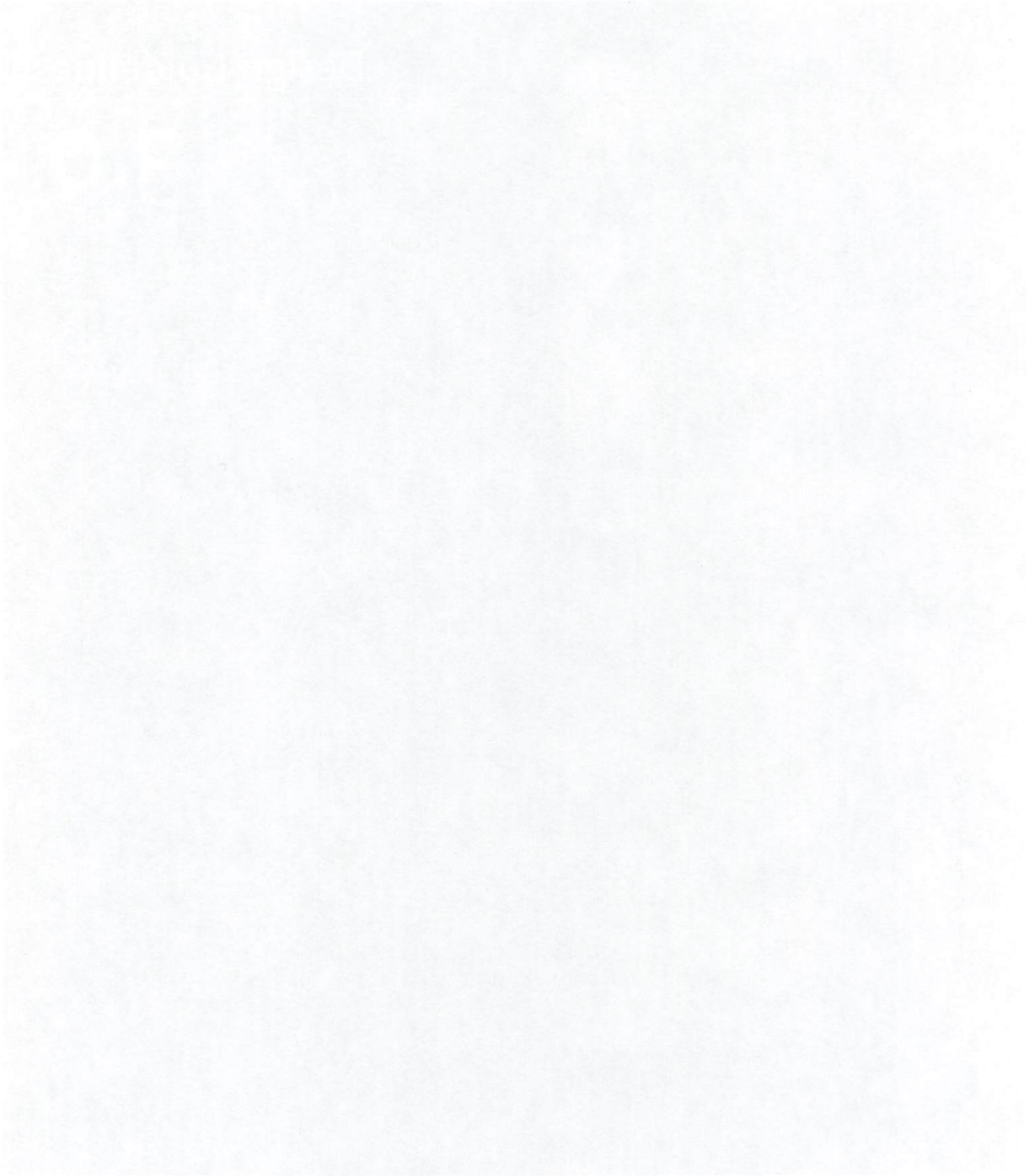
Fig. 13: Convenient, connected, and safe walkways can increase pedestrian and bicycle activity year-round.



# Design Guidelines

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# 3.0





## Design Guidelines

### 3.1 Multi-Family Residential

The form and massing of multi-family residential development must be sensitive to the single-family character of Chestermere. Building scale, materials, articulation, and landscaping are all important in fitting into Chestermere neighbourhoods.

#### 3.1.1 General

- The land uses and lot restrictions shall be governed by the *Land Use Bylaw*.
- The detailed landscape requirements shall be directed by the *Landscape Design Guideline Manual*.
- The appropriate building coverage, location, and use of the site will be determined by the *Land Use Bylaw*.
- The form and character of building design and site planning shall complement the character of the adjoining residential development. (Fig. 14a and 14b)
- New developments shall be integrated with surrounding land uses.
- Visual and physical impacts with existing single-family land uses and other uses in transitional areas shall be minimized by reducing form and massing as well as providing appropriate high quality buffer landscaping.
- Building design shall be completed by a registered architect and the landscape design by a registered landscape architect.
- Building design and site planning shall complement adjacent multi-family residential developments.
- *Universal access* shall be the standard for building and site design. Design features may include at-grade entrances that do not incorporate stairs, wider doorways, and hallways to accommodate wheelchairs and walkers; and front porches that offer accessible street-facing amenity areas for low mobility residents.
- Any part of a residential or other associated building site left vacant for future development shall be landscaped within one year of completion and be consistent with the rest of the site.
- A traffic impact study may be required to evaluate the developments and the associated traffic circulation improvements.
- The Town may require that multi-family development projects be reviewed by an independent CPTED consultant to ensure crime and safety design concerns are addressed.

#### OBJECTIVE:

*To ensure the compatible and harmonious development of multi-family residential housing within the predominantly single-family character of Chestermere.*



Fig. 14a and b: Well-proportioned, high quality, articulated, multi-family buildings blend into single-family or commercial development patterns.



## Design Guidelines

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### 3.1 Multi-Family Residential

#### 3.1.2 Building Form and Massing

- Building massing should be varied where possible to create a scale that blends into single-family residential neighbourhoods.
- Stepping forms of three and four storey buildings, especially in areas bordering another single-family area, shall be considered.
- Varied materials and colours on building facades shall be used to break up the bigger massing of multi-family buildings.
- A variety of roof configurations shall be provided for residences including accent gables, dormers, and variation of roof ridges both parallel and perpendicular to the street. (Fig. 15)
- Consider potential entrances and courtyard plazas where residential buildings are located on corner sites.
- The multi-family units shall have a strong street presence by extended building features in the form of porches, recessed entries, and ground-oriented units.



Fig. 15: A variety of roof configurations and details reduce the visual impact of multi-unit residential and blend it more appropriately with the scale and high quality of single-family residential uses.

## 3.1 Multi-Family Residential

### 3.1.3 Exterior Building Finishes and Colour

- High quality exterior finishes shall be used to ensure the integrity of the building envelope and to present an attractive appearance.
- Roof materials shall be *architectural grade* including ridge caps and shadow lines.
- All buildings shall be faced with materials which exhibit a durable, permanent, *quality* appearance. Materials shall not stain easily, either due to atmospheric conditions or when used in combination with other materials. Materials shall be of a low maintenance type, retaining a consistent clean appearance. Vinyl is not permitted.
- All colours, materials and finishes shall be coordinated on all exterior elevations of the buildings to achieve total continuity of design.
- Colours proposed shall be a major consideration in design approval. All colour schemes must be submitted for approval and shall include samples of all finishes. Generally, colours will be earth tones with accent colours (primary and other colours) limited in the total colour application. (Fig. 16)



Fig. 16: A townhouse complex in Chestermere provides a variety of materials and colours to make it attractive, modulate the long building, and create visual interest.



## Design Guidelines

### 3.1 Multi-Family Residential

#### 3.1.4 Building Relationship To The Street

- Buildings shall be set back from the street in accordance with adjoining single-family residential uses to retain the pattern along the street.
- To provide active and inviting streetscapes at the ground level, buildings shall feature doorways, porches, and windows at ground level, as well as weather protection features such as awnings and canopies.
- Larger buildings with long street fronts shall be designed with detail and articulation to create an attractive streetscape.
- Blank walls at corners shall be avoided by wrapping residential facades around corners to maintain an active and attractive streetscape.
- Any development shall be designed to provide an inviting and interesting street presence/entrance as well as attractive building facades facing the street.
- Developers shall be responsible for creating the street sidewalk and boulevard adjoining their property following Streets Engineering Guidelines in liaison with the Town of Chestermere. (Fig. 17a and b)



Fig. 17a and 17b: Developers shall be responsible for creating the street boulevard. A grass boulevard planted with trees provides a safe separation from the roadway and defines drop-off and parking areas along the street edge.



## Design Guidelines

### 3.1 Multi-Family Residential

#### 3.1.5 Building Entrances

- The entrances to residences shall be visible and easily identifiable. (Fig.18)
- The main front entrance shall be visible from the street.
- Entrances should be emphasized, with secondary roof elements and special architectural treatments.
- Special features such as seating, colourful planting, and/or water features can be used to highlight the entrance area.

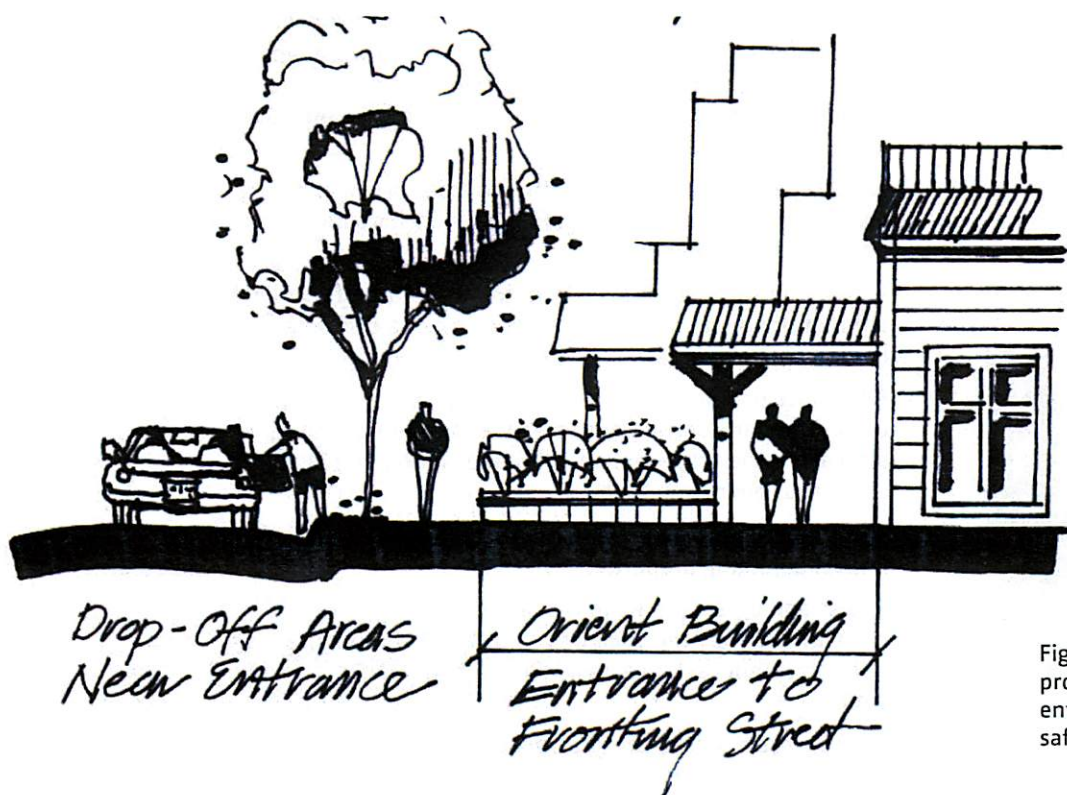


Fig. 18: The building design shall provide unobstructed views to the entrance doors from the street for safety and security.



## Design Guidelines

### 3.1 Multi-Family Residential



Fig. 19a: Parking design that allows stormwater to enter the planter area as part of a Low Impact Development (LID) stormwater management system can reduce stormwater runoff and recharge local soils with water.



Fig. 19b: Landscape curb extensions along a street or parking lot can be used as a traffic calming device as well as reduce the amount of impervious surface in a development.

#### 3.1.6 Parking and Access

All parking and loading shall comply with *Part 8: Parking and Loading Facilities* within the *Land Use Bylaw*.

#### Surface Parking Areas

- Surface parking shall be located to the sides or rear of the building, with the parking requirements following in accordance with the parking regulations. No direct access to arterial roads shall be permitted.
- All parking, whether for visitors or employees, shall be provided on site and must be graded, paved, drained and maintained at all times as well as landscaped in accordance with *Section 7.22: Landscaping* within the *Land Use Bylaw*.
- All parking and loading areas must be visually screened with landscaping or appropriate fencing from public streets and adjoining properties. Screening methods must be effective on a year-round basis.
- Landscaped areas complete with two trees or low planting shall terminate each row of parking and include low impact drainage opportunities.
- All parking shall be set back from the front face of a building a minimum distance of 2.4m, comprising of a combination of landscaping and sidewalk or 2.4m in landscaping.
- All surface parking shall have a landscape buffer to adjoining uses. Trees and shrubs shall create a four-season, continuous strip along the property line with at least two-thirds as coniferous/evergreen types.
- Surface parking shall provide full cutoff lighting that does not impact adjoining properties.
- Access and egress points to the surface parking and underground parking shall be coordinated where possible to minimize unnecessary access roadways and lanes from the street.
- A continuous pedestrian sidewalk elevation shall be created across travel lane crossings (speed humps) to emphasize pedestrian priority areas.
- Parking shall use landscape strips to reduce stormwater runoff. (Fig. 19a and b)



# Design Guidelines

## 3.1 Multi-Family Residential

### 3.1.6 Parking and Access (cont.)

#### Underground Parking Areas

- Multi-family residential developments shall avoid large, underground parking lots for safety and security purposes.
- Secure access from the underground parkade to the elevator / lobby area shall be provided.
- Glass or equivalent transparent material shall be provided between the parkade and elevator lobby.
- Tenant exit areas from underground parkades shall not be hidden from view.
- Parkade doors shall be secure and shall not use pressure strip switches.
- Parkade walls, ceilings, and columns shall be painted a light colour.
- Parkades shall be equipped with High Intensity Discharge (HID) or fluorescent lighting.
- Visitor parking areas shall be equipped with High Intensity Discharge (HID) lighting.

Fig. 20: Underground parkades can be integrated into the building facade so as to be visually appealing from the streetfront.





# Design Guidelines

## 3.1 Multi-Family Residential

### 3.1.7 Pedestrian Circulation

- The internal street system shall foster connectivity from various parts of Chestermere.
- Pedestrian linkages shall include both pedestrian mews access limited to emergency and service vehicles only and sidewalks included as part of the road right-of-ways.
- CPTED shall be considered in the design of open spaces, parks and amenity areas. The primary pedestrian spaces shall be well lit and visible and shall be linked in a comprehensive network where possible.
- Residential uses shall define a clear transition between public spaces of the frontage street and the private spaces of a building's interior or private yards for example through: landscaping grade changes, porches or outdoor seating areas (to be a minimum of 1.5m to allow for seating), covered entrances, fore-courts, and other similar features. (Fig. 21a)
- Safe and attractive pedestrian linkages shall be provided between various land uses within the Town Centre areas and surrounding neighbourhoods. (Fig. 21b)

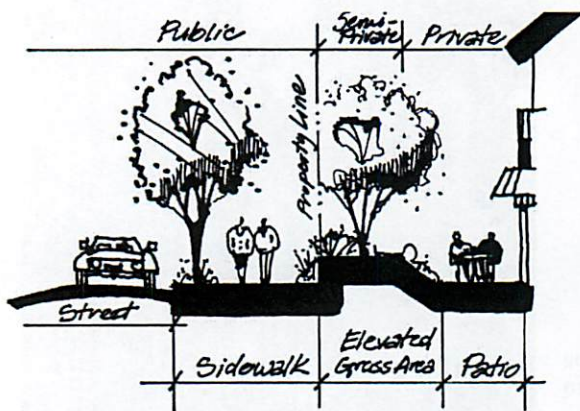


Fig. 21a: Clear transition between public and private spaces for multi-family units defined by landscaping and grade change.



Fig. 21b: Pedestrian circulation between blocks is desirable to connect Town Centre shopping, destination points, or recreation areas with surrounding neighbourhoods.

## 3.1 Multi-Family Residential

### 3.1.8 Open Space, Parks and Amenity Areas

- Large multiple building developments shall include a variety of open spaces, amenity areas, and parks such as plazas, courtyards, pedestrian mews, greens/commons, and community gardens designed for the four seasons. (Fig. 22a and b)
- Secure interior courtyards shall serve as focal points for residents of a series of buildings.
- Open spaces shall feature a high level of activity programming where appropriate as well as high quality landscape architecture to make them functional, safe, and enjoyable. These spaces shall include a rich palette of planting for different seasons, abundant street furniture, and public art.
- Site entrances and edges shall receive special design attention to help ensure that the developments present a safe, attractive, and distinctive face to the street.
- Internal streets in specific developments shall have tree-lined boulevards and shall be lit at night with pedestrian level lighting.
- Open spaces, amenity areas, and parks shall be designed to discourage negative and criminal activities.

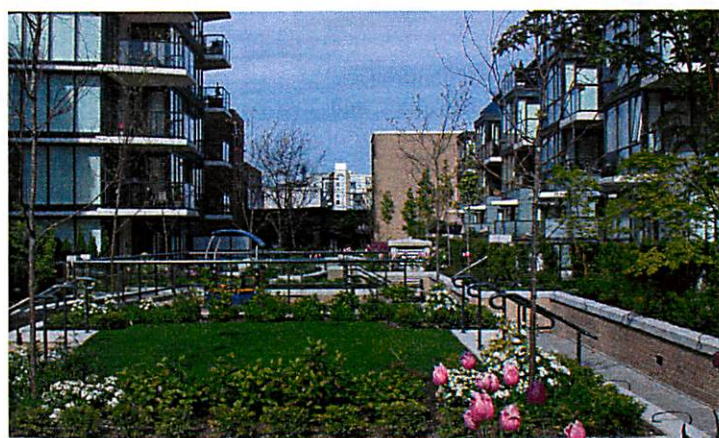
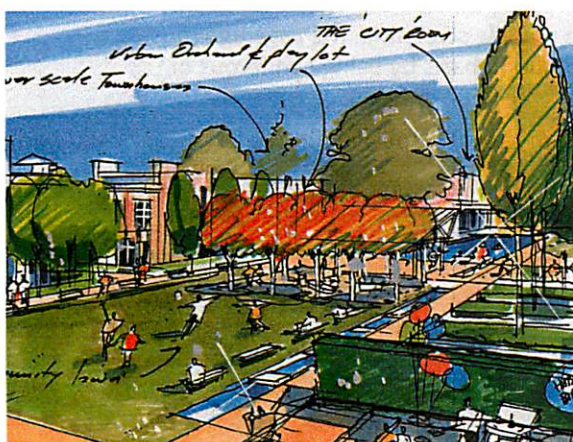


Fig. 22a and 22b: Multiple building residential multi-family developments shall provide central high quality amenity spaces for residences.



## Design Guidelines

### 3.1 Multi-Family Residential

#### 3.1.9 Landscaping



Figure 23a and 23b: Multi-family landscaping consisting of planting, lighting, varied surface materials, and earth mounding is important in buffering to adjoining single-family uses.

- All landscaping shall follow the *Town of Chestermere Landscape Guidelines and (Section 7.22) of the Land Use Bylaw*.
- Existing landscape features such as shelter belts (vegetation screens and wind breaks) as well as unique rolling landforms, shall be retained and reinforced where possible to retain the legacy of the agrarian landscape.
- All required minimum front yard setbacks shall be landscaped or naturalized.
- Each developed parcel shall provide not less than 15% of the gross site as on-site soft landscaping.
- The owner shall be responsible for planting and maintaining the roadway boulevard adjacent to his lot. The boulevard shall be developed by the owner of the site to specifications a required by the Town of Chestermere within one year of occupancy of the building. (Fig. 23a and b)
- Existing mature trees shall be retained wherever possible, except as required for access or servicing.
- Landscape materials shall be of a low maintenance type. Trees, shrubs, and ground cover shall be preferred to flower beds and lawn area.
- Winter appearance must be considered. Where landscape materials are used to provide screening, the coverage must be retained on a year-round basis by using coniferous or evergreen planting.
- Trees shall be planted in the ratio specified in the Landscape Design Guidelines.
- Shrubs shall be planted in masses and these groups shall

## 3.1 Multi-Family Residential

### 3.1.9 Landscaping (cont.)

consist of no fewer than three to five plants of each species used.

- Street trees shall comply with the Town of Chestermere Landscape Guidelines.
- On corner sites, building fences and signs are not allowed in the triangular area of 3.1m from the corner in accordance with the *Land Use Bylaw*. Plant material shall be limited to 60cm high in this area as measured from the curb elevation.
- Snow storage locations shall try to reduce impact on existing landscape or adjoining uses.
- Mature trees and vegetation shall be retained wherever possible.
- Mailboxes shall have appropriate weather protection and be connected to the multi-family development by a lit walkway or sidewalk. (Fig. 24a)
- Retaining wall heights shall be minimized where possible, by terracing and combined with landscaping for at least 50% along the face of the wall to soften the transition and break up the continuous wall effect.
- All planting shall be appropriate for the southern Alberta climate with an emphasis on native or local species that are drought resistant.
- Landscape areas shall provide a minimum of 2% slope for drainage away from the building.
- Fencing shall be wrought iron, aluminum, composite materials or approved alternative, and retaining walls should be kept to a minimum height.
- Green roofs and rooftop gardens shall be considered in the building design. (Fig. 24b)

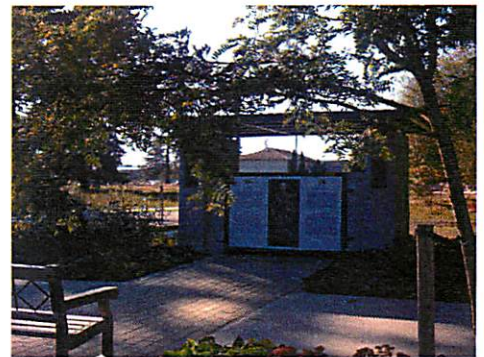


Figure 24a : Mailbox kiosks can be faced with community history or neighbourhood bulletins and set within a plaza or landscape setting or meeting place.



Figure 24b: Private outdoor living spaces including rooftop patios and gardens can be enhanced and defined with trellises, trees, or other landscape elements.



## Design Guidelines

### 3.1 Multi-Family Residential

#### 3.1.10 Signage

- Signage at entrances shall be incorporated into the landscape and blend with the materials of the building as well as comply with the sign provisions of the *Part 9* of the *Land Use Bylaw*. (Fig. 25)
- Specific signage must be approved in accordance with *Section 9.3* of the *Land Use Bylaw* and shall conform to the requirements of the *Land Use Bylaw* as well as noted below.
- Buildings housing more than one tenant may have one free standing sign per building. No other free standing sign will be allowed.
- Free standing community or residential project signs shall be incorporated into the landscape with appropriate landscaping and materials.
- General advertising signs, temporary signs, and free standing roof signs will not be permitted.
- Fascia signs will not be approved if they protrude above the roof level of a building to which they are attached, and no external supporting structures such as struts, wires, or braces shall be visible.

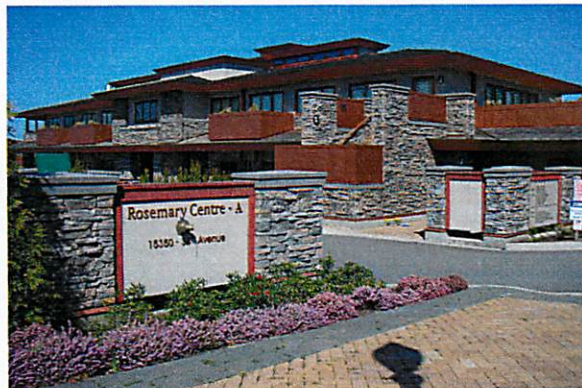


Fig. 25: Discrete but effective ground-mounted signage is important in defining entrances and identifying the project.

## 3.1 Multi-Family Residential

### 3.1.11 Lighting

- Lighting shall be used to highlight only the area required to receive light. Light spillage onto adjacent properties shall be avoided. (Fig. 26a)
- Street lighting shall be provided to engineering standards.
- Appropriate secondary direct and indirect landscape lighting and building lighting shall be provided and not spill over onto adjacent sites or generate glare.
- Entrance lighting shall be integrated into site design.
- Building and landscape lighting shall be included with landscape features. (Fig. 26b)
- Landscape plans shall provide well-lit pedestrian sidewalks through the parking lots, especially larger format commercial uses.
- No external lighting fixtures shall be higher than the closest building's parapet height.

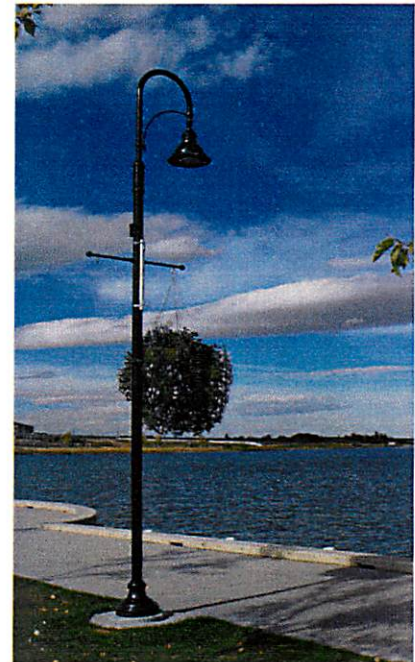


Fig. 26a (above): Effective pedestrian lighting design is important for safety and security as well as minimizing off-site glare and other associated impacts.

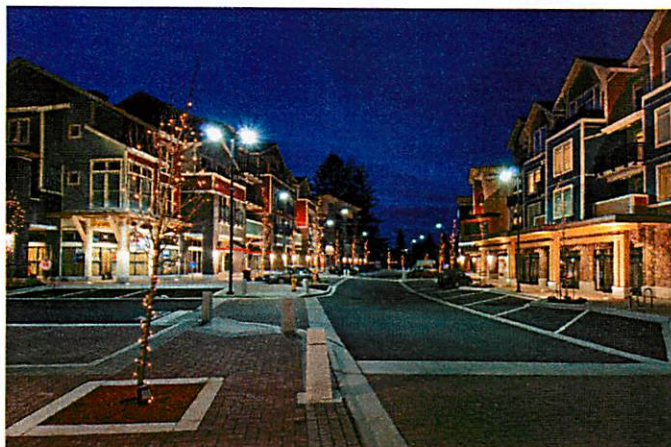


Fig. 26b (left): Lighting must be considered as a total landscape package for its cumulative effect on buildings, landscape and streetscaping.



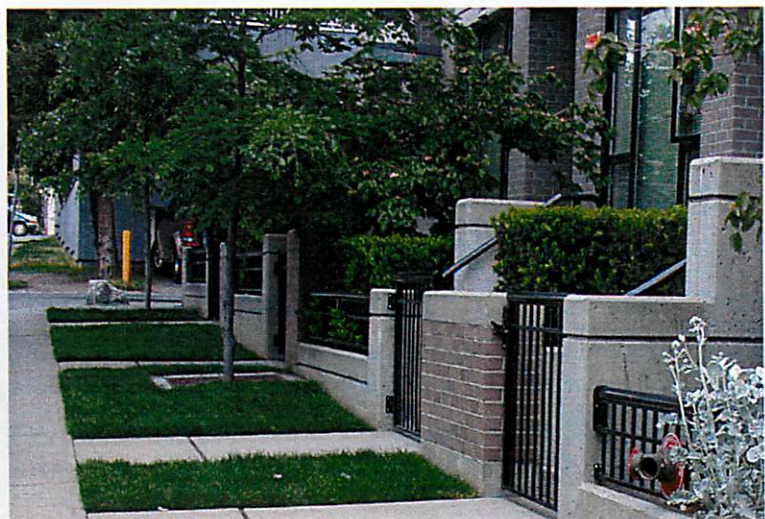
## Design Guidelines

### 3.1 Multi-Family Residential

#### 3.1.12 Fencing and Screening

- All fencing and screening shall be designed and constructed with durable materials, coordinated with the design of the building. Massed shrubs shall be used wherever possible to enhance required screening.
- All screening shall be of sufficient height so as to adequately screen parking, loading, and storage areas.
- Screen parking areas which are visible from a street, lane or adjacent residential uses should be screened.
- A combination of landscaping and transparent fencing is encouraged in the front yard areas. (Fig. 27a and 27b)
- Side and rear yard fences shall be combined with landscape (trees and shrubs) to soften the impact and modulate the appearance along their length, especially along long property lines where possible. For screening to be approved, it must be effective on a year-round basis.

Fig.27a and 27b: Low fencing and screening (e.g., less than 1 meter) can create appropriate definition between private and public space and create necessary visual surveillance in multi-family developments.





## Design Guidelines

### 3.1 Multi-Family Residential

#### 3.1.13 Outdoor Storage

- All outside storage areas must be located to the side or rear of the principal building.
- All storage must be related to the residents located on the site or adequately screened.
- All storage areas shall be screened from neighbouring sites and public streets. All garbage and waste material shall be stored in weather proof and animal proof containers and screened from adjacent sites, public streets and principal buildings. All garbage and waste material storage areas shall be fully enclosed and secure.
- The design of the outdoor storage shall be reflective of the adjacent building design elements (ie. commercial or multi-family residential). (Fig. 28)

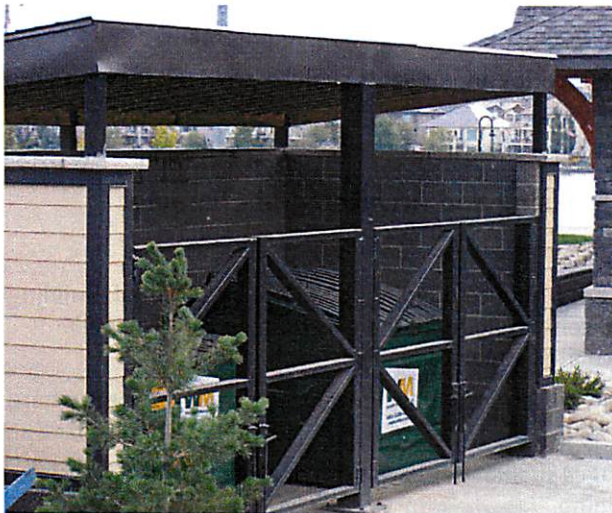


Fig.28: Outdoor storage can be screened using landscaping or built elements that are complementary to the primary building and landscape.



# Design Guidelines - Multi-Family

## 3.1 Multi-Family Residential

### 3.1.14 Specific Design Guidelines for Duplexes, Townhouses and Stacked Townhouses

#### Site Planning and Parking



- Duplexes will be limited to two storeys (not to exceed 12.0m for the principal building) and Townhouses to 2 storeys plus a loft (not to exceed 12.0m for the principal building) in accordance with the *Land Use Bylaw*.
- Units shall be oriented towards public roads where possible.
- Vehicular access shall be provided from public roads, internal roads or lanes in the case of large developments.
- Resident parking shall be provided in enclosed and secured garages attached to individual units or in a secure underground parkade.
- Visitor handicapped parking spaces shall be provided at-grade in accordance with the parking requirement.
- Private patios and/or yards shall be provided for each ground-floor unit.

#### Form, Massing and Architectural Character



Fig. 29a, b, and c: Townhouses shall be limited to six units in one building so that the building massing is sympathetic to the single-family character of Chestermere.

- Long townhouse buildings shall not be accepted. Buildings shall contain no more than six units to create a well-articulated streetscape. (Fig.29 a, b, and c)
- Avoid presenting garage entrances to major streets where possible.
- Garages shall be set back from or flush with the principle building.
- Utility meters shall be screened with coniferous trees or shrubs.



# Design Guidelines - Multi-Family

## 3.1 Multi-Family Residential

### 3.1.15 Specific Design Guidelines for Low Rise, Multi-Unit Residential

#### Site Planning

- Low-rise multi-family residential development will be 3 to 4 storeys (Maximum height of 12.0 m to the top of the parapet of the principal building for the 3 storey building and 15.0 m to the top of the parapet of the principal building for the 4 storey building) in accordance with the Land Use Districts of the *Land Use Bylaw*.
- 4 storey apartment buildings will only be permitted subject to meeting universal access requirements of the *Land Use Bylaw*.
- In general, apartment buildings should contain 50 units or less unless the developer can successfully demonstrate how the project is unobtrusive with respect to the surrounding neighbourhoods. (Fig. 30a)
- Apartment buildings should be designed to soften the impact of massing and present a low-density residential scale toward the street.
- The visual impact of large facades should be reduced through the use of varied articulation, design details to create visual interest, and use of a variety of high quality materials and textures. (Fig. 30b)
- Building entrances will be located on fronting streets. Drop-off areas shall be at grade level near the main building entrance where possible.
- Apartment developments will be encouraged to provide resident parking underground. Underground parking access shall be from lanes where possible.
- In multiple building developments, site buildings shall be designed to enclose courtyards and other landscaped spaces as well as balance open space with building area. (Fig. 30c)



Fig. 30a, b, and c : Apartment building massing and yard similarities to adjoining properties help blend the building into the existing community.



## Design Guidelines

### 3.1 Multi-Family Residential

#### 3.1.15 Specific Design Guidelines for Low-rise, Multi-family residential (cont.)

##### Form, Massing, and Architectural Character

- Blank or undifferentiated facades are not acceptable.
- The apparent mass of buildings shall be reduced through roof design and facade articulation. (Fig. 31b)
- Mechanical equipment on the roof of any building shall be concealed by incorporating it within the building roof, or by screening it in a way that is consistent with the character and finishing of the building.
- Underground parkade entrances shall be screened from view.
- Upper storeys on apartment buildings shall be “stepped” back from the street and to relate to adjacent buildings where appropriate and feasible. (Fig. 31a)
- Screening for utility meters, especially in highly visible areas, shall be provided.

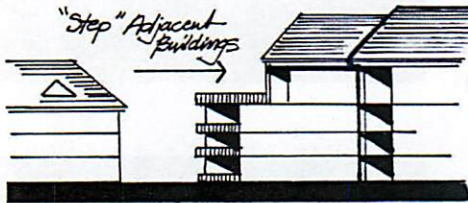


Fig. 31a and b: Illustrations demonstrate a transition in height from multi-storey building to lower adjoining building and the perceived reduction in massing due to highly articulated facades and varied roof lines.



## 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

The bulk of these guidelines apply to commercial, business park, and light industrial uses. There are noted instances where the guidelines apply to a specific land use, such as the commercial town centres and mixed-use village centres as specified in the Town's Municipal Development Plan. The already-approved Chestermere Town Centre Architectural and Design Guidelines for Chestermere Station can be found in Section 3.3 of this document.

### OBJECTIVE:

*To ensure that development occurs at an appropriate scale that is sensitive to the adjoining uses, and that the form and character of development is appropriate for the Town of Chestermere town centres and mixed-use village centres, business park and light industrial areas.*

### 3.2.1 General

- The land uses and lot restrictions shall be governed by the *Land Use Bylaw*.
- The detailed landscape requirements shall be directed by the *Landscape Design Guideline Manual*.
- Accessory building design shall relate and be consistent with the design of the primary building.
- The form and character of building design and site planning shall coincide with the character of the Town of Chestermere. (Fig. 32a and b)
- The appropriate building coverage, location, and use of the site will be determined by the *Land Use Bylaw*.



Fig. 32a and b: Building's architectural form and character should fit with lower profile character of Chestermere.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### 3.2.1 General (cont.)

The combination of detailed site planning, building design, overall access, and street design are important factors in successful commercial, mixed-use, business park or light industrial development. Included in these design guidelines is the sensitive design of the edges and the associated transitions, especially next to single-family residential uses. (Fig. 33)



Figure 33: A master plan showing multiple buildings in a business park creates a coordinated development scheme integrating sensitive single-family transitions with attractive site development.

- New large scale commercial, business park, and light industrial development shall illustrate how the development has been designed to mitigate the impact of traffic, noise, lighting, and other environmental considerations on surrounding development especially when adjacent to residential areas.
- Light industrial and business park developments shall be designed so that the uses and activities shall not cause nor become an annoyance or nuisance to surrounding areas for reasons of unsightliness, emission of odors, liquid effluent, dust, vibration, noise, or glare or high intensity light sources.
- Light industrial and business park developments shall show mitigation measures to reduce potential off-site impacts that would extend beyond their boundaries, especially adjacent to residential areas.
- Development shall illustrate that the exposure of all four sides of a building was considered in the design and site planning. Specifically, building(s) that back onto residential areas or are located along major roadways shall illustrate how the backs of the buildings, as well as their associated landscapes have been designed to address visual impacts including an attractive facade.
- Developments shall provide landscaped areas along all sides of the property that abut streets and adjoining adjacent development so that there is an integration of landscape treatment and appropriate buffering in the case of adjoining residential uses.
- Developments with more than one building on a site shall provide sidewalks to connect buildings, create common open space for meeting or gathering, and create attractive sidewalks and landscaping along the front of the buildings to each entrance.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

- Pedestrian amenities such as benches, sitting areas, bicycle racks, pedestrian scale lighting, water features, and public art, shall be provided in public space within commercial and retail developments reflecting Chestermere's character. (Fig. 34a & b)
- Building site design should allow for activity to be extended onto the sidewalk and other outdoor spaces without obstructing pedestrian circulation. These spaces could include restaurant patios, display areas for retail stores, or sales/display areas for produce and flowers. (Fig. 34c and d)
- Any part of a building site left vacant for future development shall be landscaped in a manner consistent with the landscape plan for the remainder of the building site or surrounding sites.
- Building design shall be completed by a registered architect and landscape design by a registered landscape architect.
- Universal access shall be provided for in building and site design.
- A traffic impact study may be required to evaluate the developments and the associated traffic circulation improvements.
- The Town may require development projects to be reviewed by a qualified CPTED consultant.



Fig. 34a and b (above): Artfully designed seating elements provide comfort and add interest and delight in public gathering spaces.

Fig. 34c (below): Extending indoor spaces invites public activity and interaction in the sidewalk area.

Fig. 34d (left): Public spaces must provide pedestrian amenities that add comfort, safety, and activate the space.





## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### 3.2.2 Mixed-use

- Mixed-use development shall reinforce the image of neighbourhood “main streets” as pedestrian-oriented, community focal points.
- In the commercial town centres and mixed-use village centres, the preferred building height at street edge shall be no more than three storeys. Four-storey developments will be considered if neighbouring height transitions architectural articulation, and materials variations are included as well as universal and barrier-free design features are incorporated into the project. (Fig.35)
- In higher-density residential developments in the commercial town centres and mixed-use village centres, residential units shall have ground orientation, including the provision of grade unit entrances and amenity spaces.
- Street-oriented retail and commercial developments shall address how the building establishes a relationship with the public realm. Such measures may include the building entrance design, inclusion of patios at grade and above the first floor, wider sidewalks, and enhanced landscaping. (Fig. 36)



Fig. 35: Stepped upper floor reduces mass of mixed-use buildings.



Fig. 36: Wider “main street” sidewalks create a basis for more activities to extend out on the sidewalk and more space for pedestrians.

## 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

### 3.2.2 Mixed-use (cont.)

- New developments shall establish visual continuity along the street through the use of complementary and creative design features that consider the context of existing development. (Fig. 37)
- Visual landmarks should be located at places of high visibility or significant street corners as part of the development proposal. These landmarks may include public art, water features, architectural expressions, and/or landscape structures.
- Mixed-use buildings shall have commercial on the ground floor, and may have commercial above the ground floor, but residential uses shall always be above commercial uses unless otherwise permitted in a live/work residential unit.
- Outdoor retail display, restaurant patios, central plazas and related activities are encouraged at ground level.
- Individual commercial units shall not exceed 5575 m<sup>2</sup> (60,000 sq. ft.) at street level.
- Horizontal stretches of uninterrupted facade shall be limited to 12 meters in length.
- Live/work or work/live units may be considered in commercial/residential transition areas.
- Rear lane transitions to adjoining single-family residential uses shall be appropriately landscaped and screened.



Fig. 37: Small storefronts add pedestrian scale and definition to the streetscape.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### 3.2.2 Mixed-use (cont.)

- At least 30-40% of the ground floor building facade shall be glazed or provide another acceptable visual amenity to the exterior on sides that front onto the street.
- The commercial uses may be in the form of live/work spaces with the residential component visually integrated with the commercial uses.
- Parking shall be provided on the street for commercial use and via access lanes to the rear and side of the building so that the building can be set close to the street and emphasize pedestrian orientation. Above ground, long term surface parking areas and parking structures for residential and commercial uses shall be located at the back of a development and away from the fronting street.
- Different adjoining uses on the same parcel will provide the necessary sound attenuation and other landscape measures to reduce noise and other potential nuisances associated with the uses.
- Mixed-use developments shall provide separate, secured access and parking for residential units.
- Residences will be accessed via a separate entrance from the commercial uses, excepting in live/work situations which may combine the entries.
- Awnings and canopies will provide low maintenance weather protection along the street front where appropriate and feasible. (Fig. 38)



Fig. 38: Awnings and canopies can provide necessary weather protection and pedestrian scale and variety to the street.

## 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

### 3.2.3 Site Planning and Parking

- All developments shall be planned and designed as an integral part of the existing or proposed streetscape.
- Developments shall locate site entrances for heavy vehicles, service vehicles, and trucks, away from residential areas. Where this site location is not possible, provide additional landscape and fence buffering to minimize noise, fumes, and other potential impacts.
- Signage, lighting, and landscaping are the three principal unifying elements present in the overall development. Accordingly, the maintenance of signage requirements, consistency of pedestrian area lighting, and of a landscaped street frontage as continuous elements is an essential requisite of development approval.
- All buildings within a single site and application shall be built using compatible architectural styles and exterior finishes unless individual buildings and their immediate surroundings reflect the images of single and separate developments.
- The individual entries on multiple tenant buildings shall each be identifiable without detracting from the buildings overall appearance.
- Buildings and attractive landscaping features shall be placed in high visibility corner locations.
- Snow storage locations will try to reduce impact on existing landscape or adjoining uses.
- All parking, whether for visitors or employees, shall be provided to the side or rear of the property and must be graded, paved, drained, and maintained at all times. (Fig. 39)
- Parking shall be shared between uses to minimize size and unnecessary replication.

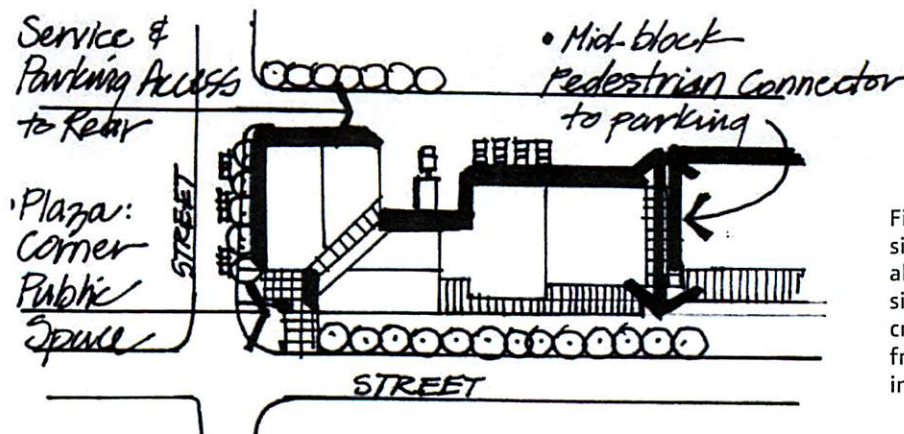


Fig. 39: Locate parking to the side and rear of the building allowing the building to be sited close to the street and create a more pedestrian-friendly streetscape that is inviting.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### 3.2.4 Building Form and Massing

- Use effective architectural design and landscaping to mitigate and avoid conflicts with adjoining residential land uses.
- Create inviting entrance and plaza or courtyard opportunities especially on corner sites for commercial uses. (Fig. 40a, b, & c)
- On larger sites, higher building massing will step back from the street edge.
- Larger sites and larger buildings can accommodate a variety of building forms and massing options.
- Generic “Big Box” building designs that exhibit little facade interest and transparency to the street will be avoided.
- Developments will feature an attractive and unified architectural presentation.
- Overly abrupt facade changes between CRU’s (Commercial Retail Units) will be avoided.
- No blank walls will be permitted and each wall shall be articulated by materials, colour or structure.

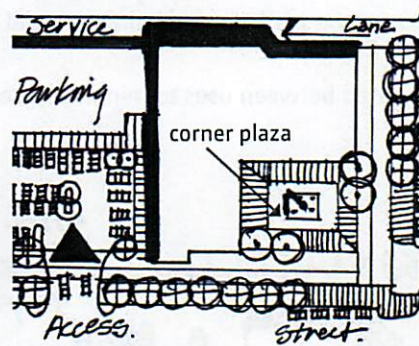


Fig. 40a, b, and c: Corner sites provide an opportunity for creating inviting entrances and signature entry plazas that enhance the pedestrian realm.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### Building Heights and Setbacks

- The height limit for commercial buildings will be 15.0 m (three storeys) in the commercial town centre district, building heights vary by site and should be referred to within the *Land Use Bylaw*.
- Business park and light industrial height may be up to three storeys or 15.0 meters for principal buildings.
- Buildings along roads require a minimum setback required by the *Land Use Bylaw*. Consideration for views with appropriate setback and building step-back provisions shall be included in the design criteria for buildings.



Fig. 41a: Step the form and massing of the building to reduce larger building volumes.

#### Building Width and Depth

- Generally, neither the width nor depth of an individual building should exceed 60 meters.
- Additional width or depth may be considered where the proposal demonstrates visual interest and diversity. (Fig. 41a)
- Where the need for longer, wider buildings can be demonstrated, consideration shall be given to facade articulations, and connections by bridges and walkways above the ground floor.



#### Transparency

- Views into building activities shall be provided when possible, especially at the grade level; accordingly, use of mirrored or highly reflective glass is discouraged.
- Ground floors along the streetfronts shall have a minimum transparency (windows and associated glazing) of 30-40% in commercial areas with a 10% minimum requirement in business park and light industrial areas. (Fig. 41b and c)



Fig. 41b and c: Transparency in commercial areas is important. In light industrial areas an attractive entrance and facade can increase the quality and visual accessibility without compromising security.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### Building Articulation

- Building articulation can be achieved utilizing glazing, canopy, and shading systems, as well as exposed structural components. (Fig.42)
- Feature banding to break up perceived wall height shall be considered to assist in achieving horizontal articulation.
- Highly visible circulation and building systems are encouraged.
- Vertical service elements, such as stair and elevator shafts, that are located to the perimeter of the building, may be used to assist in articulation, as well as express their function.
- Rooftop mechanical systems and other equipment shall be integrated into the form of the building or screened from view.
- Main building entries shall be clearly identifiable, visible, transparent, and accessible from the street.
- Pedestrian interest and comfort at entries shall be provided through specifically designed seating, signage, lighting, and features that signal the building's use.



Fig. 42: Building articulation can be achieved through glazing, colour, and architectural features.

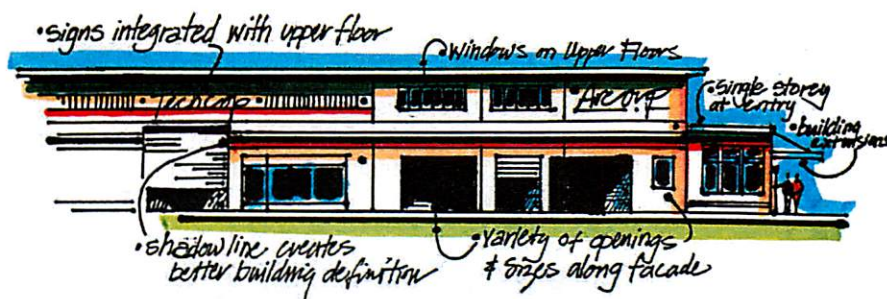


# Design Guidelines

## 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

### Weather Protection and Seasonal Design

- Main building entries shall provide weather protection that is designed to be an integral feature of the building's architectural character. (Fig. 43a and b)
- Larger sites that are developed with more than one building should consider providing a weather protected walkway system to connect pedestrian entries within the site, and coordinated with adjacent sites.
- Canopy and/or awning systems detailing shall consider integrated signage, lighting, and display systems, especially in commercial developments.
- Canopy and awning systems depth shall be optimized to provide greater weather protection, as well as reduce the scale impact of larger buildings.
- Encroachments by weather protection elements, such as canopies over sidewalks, may be permitted in required front yard setbacks.
- Ground-oriented, internal pedestrian walkways through large footprint buildings are encouraged to connect to on-site circulation routes and amenities. Such circulation through buildings shall be clearly identified and designed for use by the public.



### ◆ BREAK UP THE BOX - Building Articulation

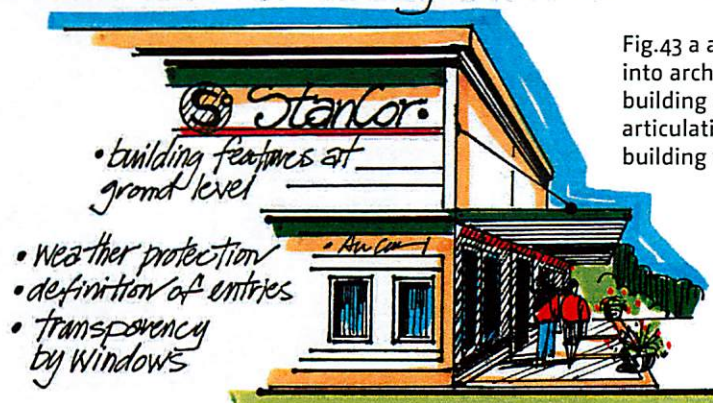


Fig.43 a and b: Integrating weather protection into architectural form helps articulate the building at the ground level. Additional articulation of the building helps reduce larger building volumes.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### 3.2.5 Exterior Materials and Colour

- Exterior building design shall reflect the commercial, business park, and light industrial character by utilizing appropriate, durable materials.
- High quality exterior finishes will be used to ensure the integrity of the building envelope and to present an attractive appearance.
- All buildings shall be faced with materials which exhibit a permanent high quality appearance. Materials shall not stain easily, either due to atmospheric conditions or when used in combination with other materials. Materials shall be of a low maintenance type, retaining a consistent clean appearance.
- All colours, materials and finishes shall be coordinated on all exterior elevations of the buildings to achieve total consistency of design. (Fig. 44)
- Colours proposed shall be a major consideration in design approval. All colour schemes must be submitted for approval and shall include samples of all finishes.
- Vinyl and corrugated metal are discouraged as primary exterior materials but can be used as accent features on buildings. Earth tone colours such as greens and browns are encouraged as well as variations on bolder, primary colors to provide accent on up to 10% of the facade.



Fig. 44: Use of a variety of materials and colours to reduce the building volumes and create attractive fronts.



## 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

### 3.2.6 Landscaping

- Existing landscape features such as shelter belts (vegetation screens and wind breaks) as well as unique rolling landforms shall be retained and reinforced where possible.
- A continuous landscape strip shall be provided along the street-facing property line with at least 30% covered by mass planting of hardy shrubs, especially at the entries and signage areas.
- On corner sites, building fences, and signs are not allowed in the triangular area of 7.5m from the corner in accordance with Section 7.9 of the *Land Use Bylaw*. Plant material shall be limited to 60cm high in this area as measured from the curb elevation.
- Lower shrubs and other accent planting shall be used to enhance the green border and highlight entries and features on each site. (Fig. 45 a and b)
- Street trees shall comply with the Town of Chestermere standards.
- Landscaping shall screen parking areas from adjacent streets to create a more comfortable overall experience of the development.
- Retaining walls shall be minimized where possible by terracing walls on the slope and combining landscaping along the face of the wall to soften the transition and break up the continuous wall effect.
- Landscape plans shall emphasize shade tree species in order to moderate the summer climate.
- All required minimum front yard setbacks shall be landscaped.
- Each developed parcel shall provide not less than 15% of the gross site along street frontage as on-site soft landscaping.
- The owner shall be responsible for planting and maintaining of the roadway boulevard adjacent to his lot. The boulevard shall be developed by the owner of the site to specifications a required by the Town of Chestermere within one year of occupancy of the building. Existing mature trees shall be retained, except as required for access or servicing. (Fig. 45c)



Fig. 45 a, b, and c: Use landscaping to soften building edges and highlight entries. Streetscapes should include native deciduous street trees and landscaped boulevards .



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### Landscaping (cont.)

- Landscape materials shall be of a low maintenance type. Trees, shrubs, and ground cover shall be preferred to flower beds.
- Winter appearance must be considered. Where landscape materials are used to provide screening, the coverage must be retained on a year round basis.
- Trees shall be planted in groups according to the Landscape Design Guidelines.
- Shrubs shall be planted in masses and these groups shall consist of no fewer than three to five plants of each species used.
- All planting shall be appropriate for Southern Alberta climate with an emphasis on native or local species.
- Landscape areas shall provide a minimum of 2% slope for drainage away from the building.
- Landscape island areas that terminate each row of parking shall be required.
- Canopied trees are required in parking lots to provide shade and reduce heat gain. (Fig. 46a, b & c)



Fig. 46a, b, & c: Treed and landscaped parking lots provide shade for cooling walkways and help clean and filter stormwater run-off from paved areas.

## 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

### 3.2.7 Fencing and Screening

- All fencing and screening shall be designed and constructed with durable materials, coordinated with the design of the building. Massed shrubs shall be used wherever possible to enhance required screening. (Fig.47)
- All screening shall be of sufficient height so as to adequately screen parking, loading, and storage areas.
- Fencing in front or side yards of a building shall be avoided unless it is considered an integral part of the building or site and is coordinated with the architectural design of the building.
- For screening to be approved, it must be effective on a year round basis.
- There shall be no storage areas placed in the front yard of buildings.



Fig. 47: Shrub massing and trees shall provide screening of storage areas.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### 3.2.8 Signage

- All signs shall comply with *Part 9* of the *Land Use Bylaw*.
- Signs shall complement the architectural design and be approved by the project architect.
- Signs shall be an integral part of building and site design and its form, material, and character complements the types of activities being advertised.
- Corporate signage shall be subordinate to the design of the building.
- Signs shall complement the architectural design and be approved by the project architect. Only one ground mounted sign and one sign per tenant will be encouraged so that commercial or industrial uses are clearly stated but not overdone. (Fig. 48a, b, & c)
- Illuminated signs may be approved provided they do not flash or rotate.
- All signage must be approved and shall conform to the requirements of the Land Use Bylaw as well as noted below.
- All freestanding signage will conform to the established guidelines.
- Buildings housing more than one tenant may have one free standing sign per building. No other free standing sign will be allowed.



Fig. 48a, b, & c: Ground-mounted entry signs are recommended to create an effective but understated signature at project entrances.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### Signage (cont.)

- Where a building houses a single tenant, one free standing sign will be approved, providing that the design follows the established guidelines.
- Free standing roof signs will not be permitted.
- Fascia signs connected to the wall of the building will not be approved if they protrude above the roof level of a building to which they are attached and no external supporting structures such as struts, wires, or braces shall be visible. (Fig. 49a, b)
- Individual identification signs on a building housing more than one tenant shall be approved providing:
  1. There is no more than one sign per tenant;
  2. The signs are no higher on the building face than 3.2m above the ground level; (Fig. 49c & d)
  3. Where signage bands are incorporated within the building designs, these bands shall be generally restricted to 900mm height;
  4. No design shall rely on signage alone to distinguish individual entries; and
  5. Signage shall only be used to identify a specific tenant, acting as a supplement to the entry design.

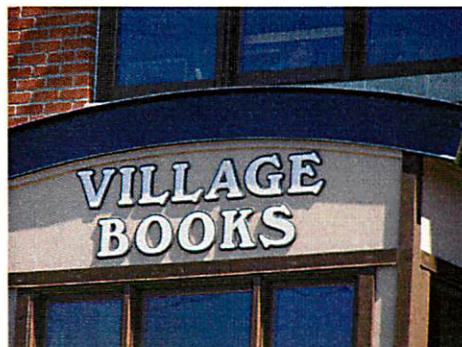
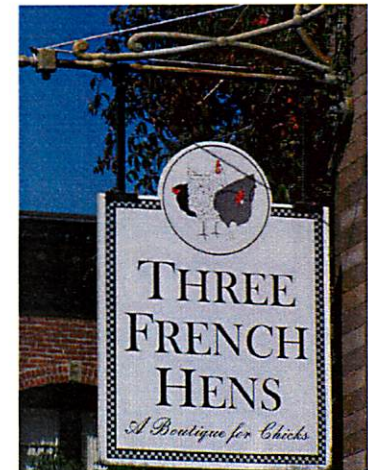
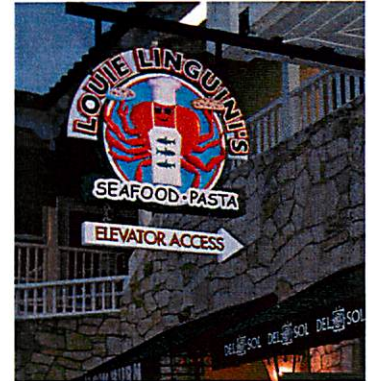


Fig. 49a & b (left): In commercial areas, fascia signs shall be integrated into the architecture.

Fig. 49c & d (above): In the Mixed-use Village Centre and Town Centre areas, blade signs are encouraged to enhance the areas' pedestrian scale and orientation.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### 3.2.9 Outdoor Display

- Where outside display is permitted, it shall be limited to examples of equipment or items sold by the business or industry located on the site. (Fig. 50)
- All display areas for free standing equipment shall be paved and drained.
- Description of display or renderings, size, and site location must be provided to be considered for approval.



Fig. 50: Coordinated outdoor display can enhance the street presence and activity of specific businesses in appropriate locations in commercial areas.



## 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

### 3.2.10 Lighting

- Street lighting shall be provided to engineering standards.
- Appropriate secondary direct and indirect landscape lighting and building lighting shall be provided and not spill over onto adjacent sites or generate glare. (Fig. 51a)
- Entrance lighting shall be integrated into site design.
- Building and landscape lighting shall be included with landscape features.
- Landscape plans shall provide well-lighted pedestrian sidewalks through the parking lots, especially in larger format commercial uses.
- No external lighting fixtures shall be higher than the closest building parapet height.
- Lighting shall be used to highlight only the area required to receive light. Light spillage onto adjacent properties shall be avoided.

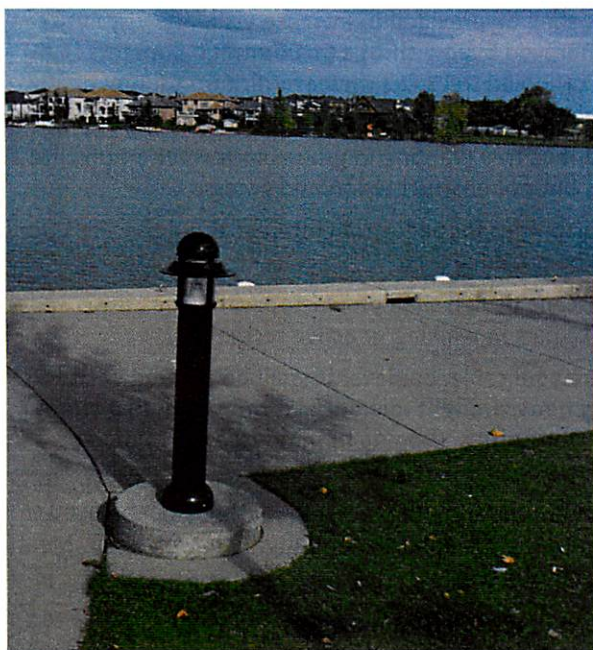


Fig. 51a: Illuminated bollards are one way to light pedestrian sidewalks where specific lighting is required, but general lighting is not necessary



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### 3.2.11 Pedestrian Amenities



Fig. 51b: Providing a landscaped border to every street frontage creates a consistent high quality street interface.

- Pedestrian areas shall feature distinct surface treatments (concrete, brick or stone) from vehicular parking and maneuvering areas.
- Continuous sidewalks (or pathways) shall be provided for the site's full street frontage to encourage pedestrian and bicycle use. A 1.5-meter concrete sidewalk is required along the full frontage of the property.
- A 1.5-meter wide landscape strip is required along the street frontage. A single row of trees spaced 7 meters apart is required within the landscape strip, along with low shrubs to screen temporary parking and drop-off areas.
- Opportunities for public art and historical references shall be encouraged where appropriate, excepting major entrances where it conflicts with other informational signage.
- CPTED principles shall be followed to increase safety and security in and around buildings, especially during evening hours. Additional accent lighting for walkways and parking areas shall be provided to increase visibility. Visibility can also be improved by low shrubs (maximum 0.6 meters high) and high canopied trees (2.4 meter minimum canopy height).
- The 3m landscape strip shall also have coniferous and deciduous tree planting in groups to further emphasize accent areas but not obstruct vision and access.
- Opportunities for pedestrian interest along the site's frontage shall be provided.
- Landscape design shall provide opportunities to sit and view or take part in walking or active recreation.
- Where applicable, boulevards shall be planted with indigenous, drought tolerant planting, including street trees and shrubs, keeping in mind clear sight distances at intersections.
- Lower shrubs and other accent planting shall be used to enhance the green border and highlight entries and features on each site. (Fig.51b)

## 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

### 3.2.12 Road Interface, and Parking

- Building and site design shall contribute to an orderly and attractive appearance of the adjoining roadways.
- All parking and loading shall comply with Part 8: Parking and Loading Facilities within the Land Use Bylaw.
- Driveways accessing arterial roads shall be consolidated where possible to minimize the number of access points. (Fig. 52)
- All parking shall be set back from the front face of a building a minimum distance of 2.4m, comprising of a combination of landscaping and sidewalk or 2.4m in landscaping.
- Ample pedestrian space shall be provided adjacent to building entrances.
- Incorporate special features and pedestrian connections in the parking lots to make it safer and more pedestrian oriented.
- Limited parking shall be permitted between the street front and building. A drop-off lane and parking is permitted within the front yard area provided a landscape strip, including landscaping, and a path or sidewalk, are provided.
- The majority of surface parking facilities shall be located to the side or rear of the buildings.
- Shared driveways with abutting properties shall be provided where possible to maximize safety and orientation, minimize impervious surfaces, and increase the landscaped buffer bordering the properties.
- Safety and security are important factors in the layout, size and characteristics of plant material and earth-mounding that effect visual access throughout the site.
- Incorporate tree planting (an average of one tree for every six parking spaces) to break up the parking into parking pods.
- Incorporate special features and pedestrian connections in the parking lots to make it safer and more pedestrian oriented.

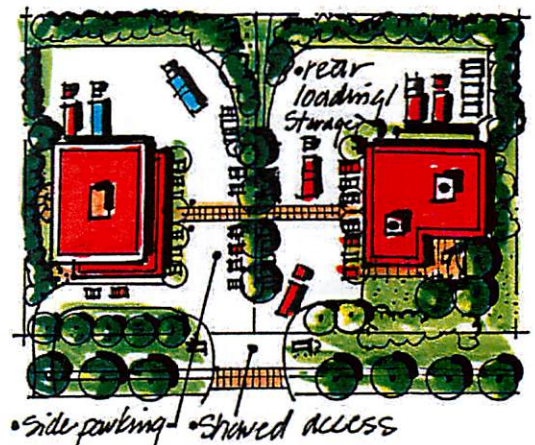


Fig. 52: Shared driveways improve safety by reducing curb cuts and reduce paved surfaces while increasing the potential for increased landscaping.



## Design Guidelines

### 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

#### 3.2.13 Loading and Outdoor Storage

"Industrial Screen"

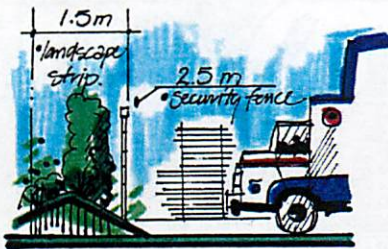
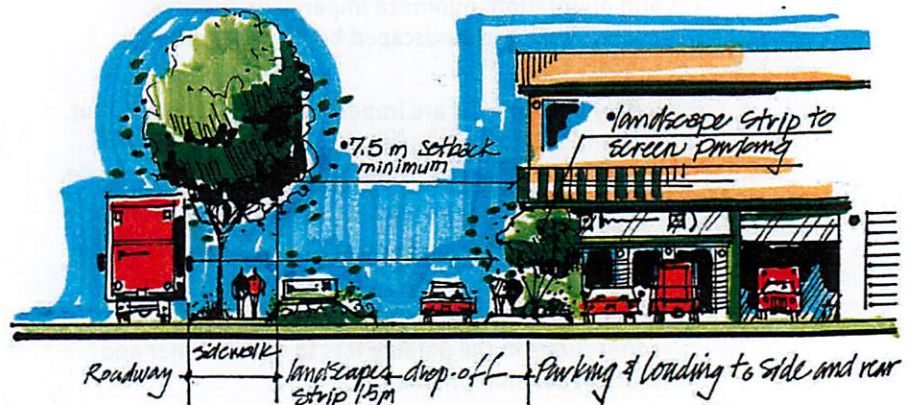


Fig. 53a: Proper storage area screening effectively reduces visual impacts.

- A layered landscape treatment shall be provided to screen parking and loading areas while providing strategic visual access to signs, entries, and access areas. (Fig. 53a)
- Loading areas shall be located to the rear (first preference) or sides (second preference) of the property and not easily visible from the adjoining street. (Fig. 53b)
- Loading areas shall be screened from view from the major arterial roads, highways and collector roads using layered landscaping and mounding, with the use of fences as a backdrop design element only.
- Storage areas shall be buffered by fencing (maximum 2.5 m black vinyl chain link fence or netting covered fence) with further shrub planting on the outside to break up the continuous fence line.
- All storage must be related to and be an integral part of the business or industry located on the site or adequately screened at the discretion of the Town of Chestermere.
- Types of materials proposed for outside storage must be approved.
- All garbage and waste material must be stored in weather-proof and animal-proof containers and screened from adjacent sites, public streets, and principal buildings.
- Screening shall include fencing, plants and trees, and earth mounds that filter undesirable views; barbed wire is prohibited.
- Security fences up to 2.5 meters high for storage and loading areas shall be limited to green or black covered chain link fences or equivalents that are accompanied by appropriate hedging or other plant material in a minimum 1.5 meter landscape strip. No storage materials exceeding 2.5 meters high shall be placed within 5 meters of the fence.
- Screening shall be encouraged between buildings, parking and light industrial building as well as residential uses.

Fig. 53b: Service loading is limited to the side or rear of properties. Drop-off and limited visitor parking may be provided in the front. Proper setbacks with boulevard planting and sidewalks maintain site lines and encourage safe pedestrian connections.





## 3.2 Commercial, Mixed-use, Business Park, Lt. Industrial

### 3.2.14 Land Use Transition

- Effective architectural design and landscaping shall mitigate and avoid conflicts with non-industrial land uses. (Fig. 54)
- Roof lines, height, building mass, form, architectural character and outdoor spaces adjoining residential or other commercial, business park or light industrial uses shall complement adjacent buildings and development character.

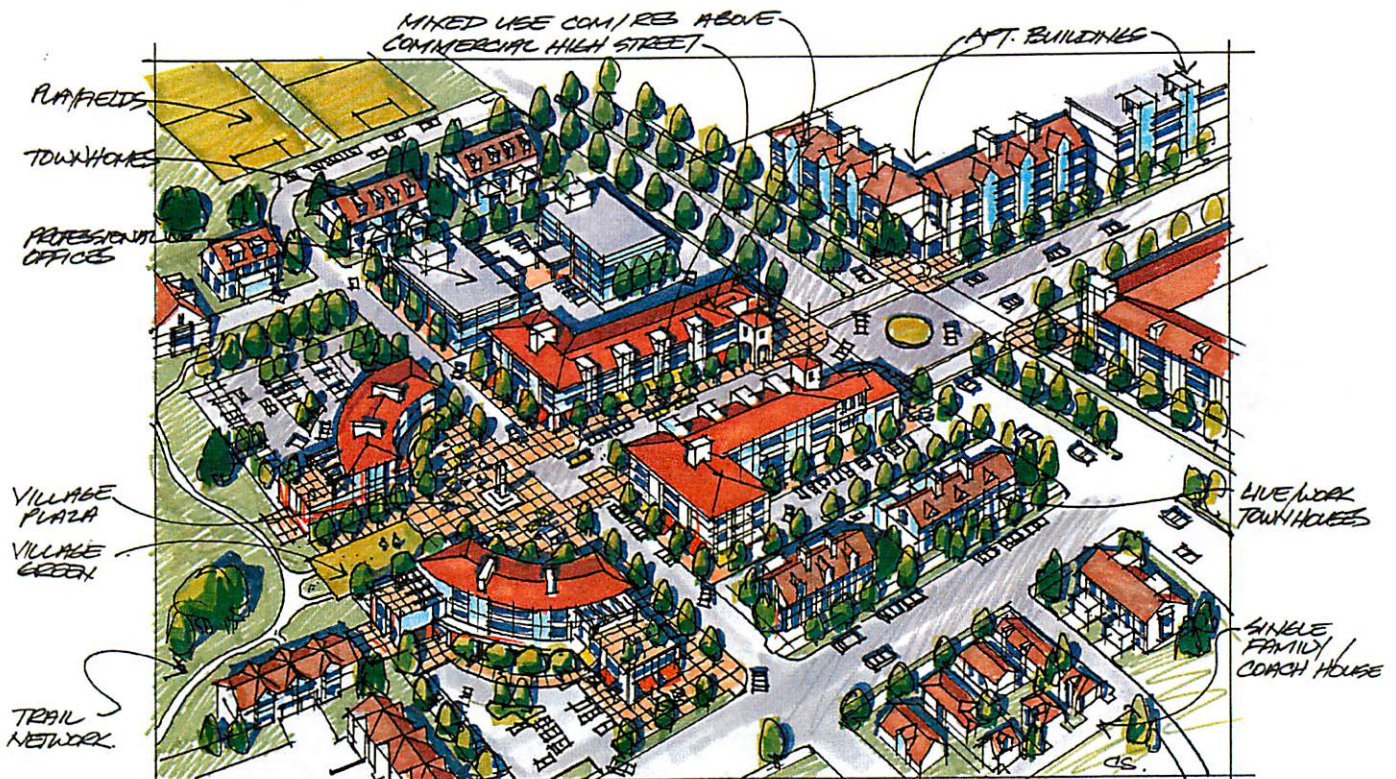


Fig. 54: The above illustration demonstrates land use transitions between Town Centre and adjacent residential areas.



## Design Guidelines

### 3.3 Special Design Areas

#### 3.3.1 Primary Gateways

Primary Gateways provide the entry points to the Town of Chestermere. The following four gateways specified in the Municipal Development Plan provide primary entrance definition and identity to the Town of Chestermere. They are as follows:

- 1. Highway 1 and Conrich Road
- 2. Highway 1 and Rainbow Road
- 3. Highway 1A and Conrich Road
- 4. Highway 1 and Range Road 280

Guidelines that apply to these primary gateways are as follows:

- Monument signs, at a maximum 2.5 meters high, shall be used in accordance with the Signage Bylaw and in combination with earth berms and planting to appropriately announce the primary entrances. (Fig.55a)
- A signature “logo” shall be developed for signage and area information that reflects the Town of Chestermere future vision as one of a high quality lake community. (Fig. 55b)
- Monument signs shall be the standard along with wall and fencing elements to define the entrances.
- Direct lighting, which could be solar powered, shall complement the entrance without creating glare or other unnecessary impacts on adjoining uses.
- All gateway materials should be low maintenance, durable, and resistant to extreme weather conditions.
- All primary gateways shall meet minimum setback requirements.



Fig. 55a and b: Larger scale town gateway example combining monument signage and landscape elements appropriate to the character of the place.





## Design Guidelines

### 3.3 Special Design Areas

#### 3.3.1 Commercial, Business Park, and Light Industrial Secondary Gateways

These gateways are to provide entrance definition and identity to the overall developments rather than individual properties.

- Monument signs, at a maximum 1.5 meters high, shall be used in accordance with the Signage By-law and in combination with earth berms and planting to appropriately announce the primary accesses. (Fig. a & b)
- The landscaping shall provide accent during all four seasons by seasonal colour and use of coniferous evergreen trees and shrubs.
- A signature *logo* shall be developed for signage and area information that reflects the future vision.
- Ground-mounted signs shall be the standard along with wall and fencing elements to define the entrances.
- Direct lighting, which could be solar powered, shall complement the entrance without creating glare or other unnecessary impacts on adjoining uses.
- All gateway materials should be low maintenance, durable, and resistant to extreme weather conditions.
- All gateways shall meet minimum setback requirements.

Fig. 56a & b: Effective smaller scale commercial gateway examples combining monument signage and landscape elements appropriate to the character of the place.





## Design Guidelines

### 3.3 Special Design Areas

#### 3.3.1 Residential Communities Secondary Gateways

Secondary gateways are those entrances distinct to the residential neighbourhood areas.

- Monument signage, at a maximum 1.5 meters high, shall be provided in accordance with local regulations, secondary to the primary gateway signs but still visible to drivers.
- Ground-mounted signs shall be the standard along with wall and fencing elements to define the entrances. (Fig. 57)
- Any signage shall be integrated with appropriate trees and accent landscaping that flows with adjoining landscaping and accents the sign during all four seasons.
- All gateway materials should be low maintenance, durable, and resistant to extreme weather conditions.
- Unobtrusive lighting, which could be solar powered, shall be provided that features the sign and creates no external glare.
- All gateways shall meet minimum setback requirements.

Fig. 57: Ground-mounted signs identifying residential developments should be durable and integrated within the landscape.





# Design Guidelines

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## 3.3 Special Design Areas

### 3.3.2 Special Streets and Pedestrian Realm

Development fronting on Highway 1A, commercial, business park, light industrial, and residential streets will be required to complete the landscape improvement of those streets in accordance with the Town of Chestermere Landscape Guidelines and associated Engineering Guidelines. Landscape improvements include tree, shrub, and grass planting that have year round effect and sidewalk improvements. Pedestrian scale lighting may also be part of the special street requirements. The goal is to improve Chestermere's streets and pedestrian-friendly orientation by creating specific guidelines for the public realm associated with different categories of streets.

The following pages identify four categories of street improvements.

#### 1. Highway 1A Boulevard

Highway 1A will become a central "parkway" within the Town of Chestermere. The intention is that each development adjoining contribute to converting the existing Highway experience into a grand parkway complete with a double row of trees on each side and sidewalks between grassed boulevards. The boulevard is also envisioned to have decorative lighting that fits with the character of Chestermere. Residential and commercial developments backing onto the parkway will be required to have attractive facades and landscape treatments.



## Design Guidelines

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### 3.3 Special Design Areas

#### 2. Commercial High Streets

There will be more than one commercial “high street” in the Town of Chestermere. These streets will be part of town centres or mixed-use town centres outlined in the Municipal Development Plan. These streets will have commercial or mixed-uses that are built to the property line to create a pedestrian-oriented shopping experience. Two travel lanes will also have convenient curb-side parking for customers. Longer term parking will be located to the rear of the buildings with convenient rear access or lane access to the adjoining commercial uses. Weather protection along the street will enhance the active street fronts and provide shelter for outdoor patios or displays along the street. High canopy street trees will provide filtered shade and green texture to the streetscape in attractive street grates along the outside edge of the sidewalks. Decorative pedestrian lighting will bring light to the sidewalk during evening hours. Special brackets on the light standards will allow banners and flower baskets to be attached that will further excite the senses along the high street experience.

## 3.3 Special Design Areas

### **3. Business Park and Light Industrial Boulevards**

The business parks and light industrial area developments within Chestermere will create attractive treed boulevards with accompanying sidewalks and landscaped edges along their property lines. Long term parking, loading, and storage will be kept to the sides or the rear of the buildings to permit the buildings to be set closer to the street. The rich and continuous boulevard will create an attractive frontage to the developments and provide an attractive walking or bicycling environment. Decorative lighting will further enhance the streets and provide pedestrian-scale lighting where appropriate.

# Design Guidelines

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## 3.3 Special Design Areas

### 4. Multi-Family Residential Streets

The collector streets in multi-family areas are where neighbours meet, and the roots of “community” are developed. The grassed boulevards along the narrower streets, complemented by street edge trees and sidewalks will create a comfortable scale and create the opportunity for houses to be closer to the street. Lower scale pedestrian lighting will further enhance the safety during the evening.



# Design Guidelines - Special Design Areas

## Town Centre

### 3-3-3 Town Centre

The previous guidelines for the Chestermere Town Centre (referred herein as Chestermere Station) have been integrated into this document.

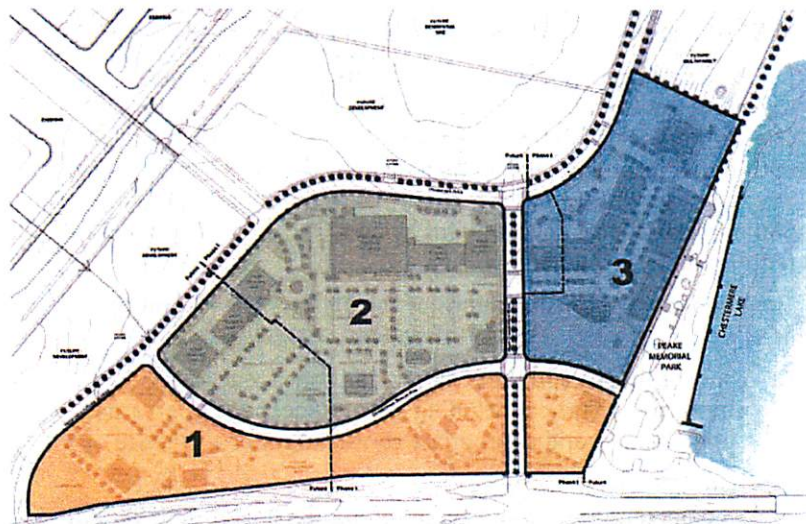


Fig. 58

The architectural guidelines are outlined in three primary areas: (Fig. 58)

- **Area 1** – Gateway/Transitional developments along Highway 1A (17th Avenue SE.) and comprising sites 2 & 3 as outlined in the *Land Use Bylaw*.
- **Area 2** – Neighbourhood Centre Development with food store anchor and complimentary uses and comprising site 8 in the *Land Use Bylaw*.
- **Area 3** – Town Centre/Main Street located alongside John Peake Park and Chestermere Lake and comprising primarily site 1 in the *Land Use Bylaw*.

Looking into the future, these areas of Chestermere Station will offer an opportunity to create a strong and vibrant Town Centre for this lakeside community.

#### VISION:

*Chestermere Station is proposed as a comprehensively planned Town Centre with a diversity and range of uses to compliment the neighbouring communities. As Chestermere Station is developed and matures, it is intended to provide a community focus and enhanced pedestrian environment for the residents and users of John Peake Park.*

*The proposed developments take their clues from the architectural style and detailing of rural railway stations. The materials and details act to reinforce the pedestrian areas along and through the various sites. Signage, landscaping, and pedestrian lighting further enhance the architectural concept throughout all of the sites within the development.*



# Design Guidelines - Special Design Areas

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## Town Centre

### 3.3.3.1 Town Centre - Chestermere Station Architectural Control Guidelines

These guidelines are intended to provide the appropriate criteria for design and construction, adding integrity to Chestermere Station and are in no way intended to limit either design creativity or the functionality of the premises for the approved process.

All proposals have to respect the local development bylaws, including the *Land Use Bylaw*, as well as the approval of the Chestermere Station's Design Review. These guidelines contained within the document shall in no way limit the legal liability of the purchaser/applicant from compliance with the Alberta Building Standards, the local development bylaws, and any other statutory requirements or regulations.

The major design considerations of this Design Review Committee are:

- Landscaping design that will provide consistency for Chestermere Station including streetscape, pedestrian areas, parking areas, and appropriate concealment of all service areas.
- Signage design standardized to promote Chestermere Station as one entity. However, corporate identity/logos and suitable individual signs will be considered for individual sites and buildings.
- Building design, site layout, colours, and materials.



# Design Guidelines - Special Design Areas

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## Town Centre

### 3.3-3.2 Control Procedures

It is the requirement that all developments within the Chestermere Station development receive the approval from the Town of Chestermere. The requirements for each submission are outlined below. Each submission for an approval is to consist of three copies of each drawing. The Town of Chestermere shall retain two copies of each approved\* drawing while the applicant shall receive a record copy of each approved drawing duly stamped and noted.

- **Master Plan:** Submission of a master plan will be required only where site development occurs in phases and stages. Master plans must be reviewed and approved before preliminary design drawings are submitted. Master plan submission shall include details of the following: site planning showing building outlines, vehicular and pedestrian circulation, parking, loading and storage areas, illustrations or descriptions of architectural character and conceptual landscaping plans. All details shall indicate phasing or staging and shall pay particular attention to design relationships with adjacent properties pedestrian areas and streets.
- **Preliminary Design:** Preliminary designs must be review and approved before the commencement of final design drawings.
- **Final Design:** All applicants shall submit final design drawings which include: all statistical information relative to the project, all plans, sections and elevations, a site plan, finished grades, drainage and service connections, signage details, materials and colours including samples, and a landscape plan and specifications. Drawings shall also indicate the relationship of the proposed development to adjacent properties and streets. Final design drawings must be approved prior to application for a Development Permit.
- **Development Permit Applications:** Development Permit Application drawings must be approved prior to submission to the Town. These drawings shall conform to the approved final design drawings and may be the same submission as the final design submission. The applicant shall provide the Town of Chestermere with two copies of the Development Permit Approval including copies of the attached conditions.
- **Working Drawings:** Working drawings must be reviewed and approved prior to Building Permit application. Working drawings shall conform to the approved Development Permit drawings.
- Applicants shall contact Town of Chestermere regarding any inquiries related to these guidelines or control procedures. Omission of any of the requirements will place the review of the submission on hold.
- It is required that:
  - All architectural design drawings shall be prepared and stamped by a registered architect .
  - All engineering drawings shall be prepared and stamped by a registered engineer .
  - All detailed landscape working drawings shall be prepared and stamped by a licensed landscape architect.

*\*The word "approved" wherever it is used in its various forms in these Architectural Control Guidelines means approval from the Town of Chestermere . All such approvals must be confirmed in writing either by approved notation of the Town on plans submitted or by correspondence from the committee.*



# Design Guidelines - Special Design Areas

## Town Centre

### 3.3.3.3 Special Development Design Criteria

Chestermere Station is made up of a series of separate and distinctly individual developments. The goal is that each development will contribute to the intent and overall continuity of Chestermere Station. Each development must therefore respect the intent of these guidelines, the principles on which they are based and the developments that have already evolved using them.

- All developments shall be planned and designed as an integral part of the existing and/or proposed streetscape and overall Chestermere Station development.
- Signage, lighting, and landscaping are the three principal unifying elements present in the overall development. Accordingly, the maintenance of signage requirements, consistency of pedestrian area lighting, and of a landscaped street frontage as continuous elements is an essential requisite of development approval.
- All buildings within a single site and application shall be built using compatible architectural styles and exterior finishes unless individual buildings and their immediate surroundings reflect the images of single and separate developments.
- The individual entries on multiple tenant buildings shall each be identifiable without detracting from the buildings overall appearance.
- The use of brick, architectural bracket details and other elements consistent with the railroad station concept are encouraged. (Fig. 59)



Fig. 59: Architectural bracket and brick details that follow the railway station concept.



# Design Guidelines - Special Design Areas

## Town Centre

### 3-3-3-3 Special Development Design Criteria (cont.)

In addition to requirements of the local development bylaw, the following apply:

- As the gateway/transition site along Highway 1A, the increased setback and landscaped edge creates an important interface with planting to be grouped to provide an aesthetically pleasing buffer.
- There are feature signage/entry elements proposed for the corners of the sites at Highway 1A and West Chestermere Drive. These will be complimented with landscaping and designed along the railway station image concept.
- Pedestrian level light poles and fixtures will be consistent with the other sites in Chestermere Station.
- All pylon sign will include brick base treatment to compliment the architectural theme and also be located within an area of enhanced landscaping. (Fig. 60)

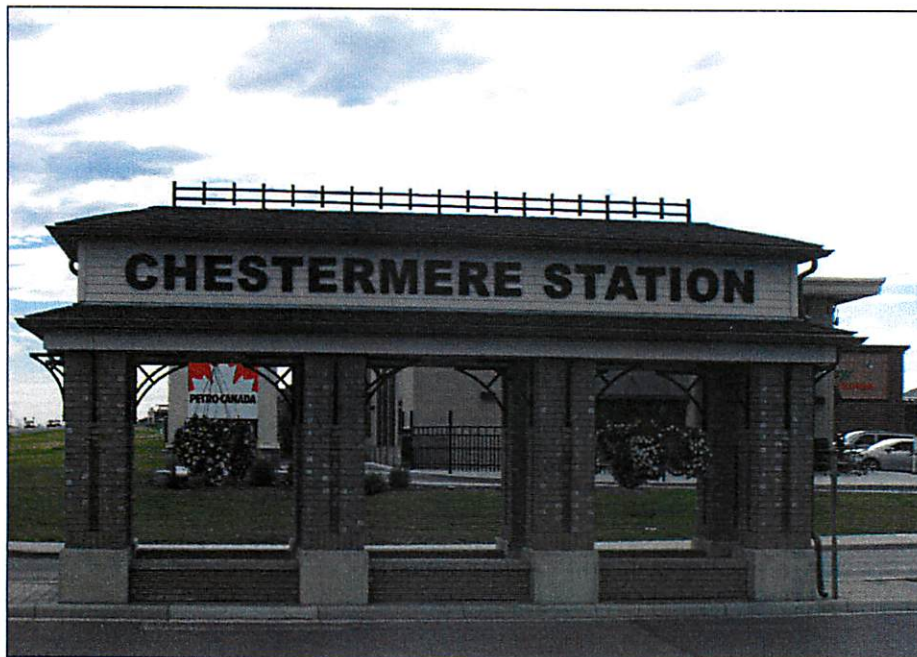


Fig.60: Chestermere Station Town Centre sign showing proper pylon sign treatment.



# Design Guidelines - Special Design Areas

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## Town Centre

### 3-3-3.4 Coverage, Setbacks and Heights

In addition to requirements of the *Land Use Bylaw*, the follow apply:

- All elevations of each building on lots abutting Highway 1A (17 Avenue SE) shall be comprehensively designed and detailed.
- On corner sites, building fences, and signs are not allowed in the triangular area of 7.6m from the corner. Plant material shall be limited to 60cm high in this area as measured from the curb elevation.



Fig. 61: The appropriate form and height is illustrated by the Boston Pizza building so that the development retains a residential scale in its individual buildings.



# Design Guidelines - Special Design Areas

## Town Centre

### 3.3.3.5 On-Site Parking and Loading

The design of parking and loading areas must compliment the building as the prime, positive visual component.

- All parking, whether for visitors or employees, shall be provided on site and must be graded, paved, drained and maintained at all times.
- No loading spaces shall be permitted within the front yard of buildings unless screened to the satisfaction to the Town of Chestermere.
- All parking and loading areas must be visually screened with landscaping or appropriate fencing from public streets and adjoining properties. Screening methods must be effective on a year round basis.
- Parking will be approved in the front yard space if it is screened with landscaping from the street within the required setback areas.
- Landscape islands shall terminate each row of parking. ( Fig. 62)
- All parking shall be set back from the front face of a building a minimum distance of 2.4m, comprising of a combination of landscaping and sidewalk or 2.4m in landscaping.



Fig. 62: Parking islands and pick up and drop off areas shall be landscaped.



# Design Guidelines - Special Design Areas

## Town Centre

### 3.3.3.6 Landscaping

Apart from the buildings themselves, soft landscaping is the continuous thread, which ties the streetscape and development together.



Fig. 63: Streetscapes and development landscapes shall complement each other to create an attractive street front.

- All required minimum front yard setbacks shall be landscaped.
- Each developed parcel shall provide not less than 15% of the gross site as on site soft landscaping. (Fig. 63)
- The owner shall be responsible for planting and maintaining of the roadway boulevard adjacent to his lot. The boulevard shall be developed by the owner of the site to specifications a required by the Town of Chestermere within one year of occupancy of the building. Existing mature trees shall be retained wherever possible, except as required for access or servicing.
- Landscape materials shall be of a low maintenance type. Trees, shrubs, and ground cover shall be preferred to flower beds, etc.
- Winter appearance must be considered. Where landscape materials are used to provide screening, the coverage must be retained on a year round basis.
- Trees shall be planted in ratio of the Landscape Design Guidelines.
- Shrubs shall be planted in masses and these groups shall consist of no fewer than five plants of each species used.
- Lawn shall be uniform turf of species mixture based on drought tolerant fescue and wheat grasses.
- All planting shall be appropriate for Southern Alberta climate that are drought tolerant, with an emphasis on native or local species.
- Landscape areas shall provide a minimum of 2% slope for drainage from the building.
- All landscape areas shall be irrigated.



# Design Guidelines - Special Design Areas

## Town Centre

### 3.3.3.7 Fencing and Screening

Screening of some aspects of individual developments may be required for design approval.

- All fencing and screening shall be designed and constructed with durable materials, coordinated with the design of the building. Massed shrubs shall be used wherever possible to enhance required screening.
- All screening shall be of sufficient height so as to adequately screen parking, loading, and storage areas. (Fig. 64)
- No fencing shall be approved in the front or side yards of the building unless, it is considered an integral part of the building, or is coordinated with the architectural design of the building.
- For screening to be approved, it must be effective on a year round basis.

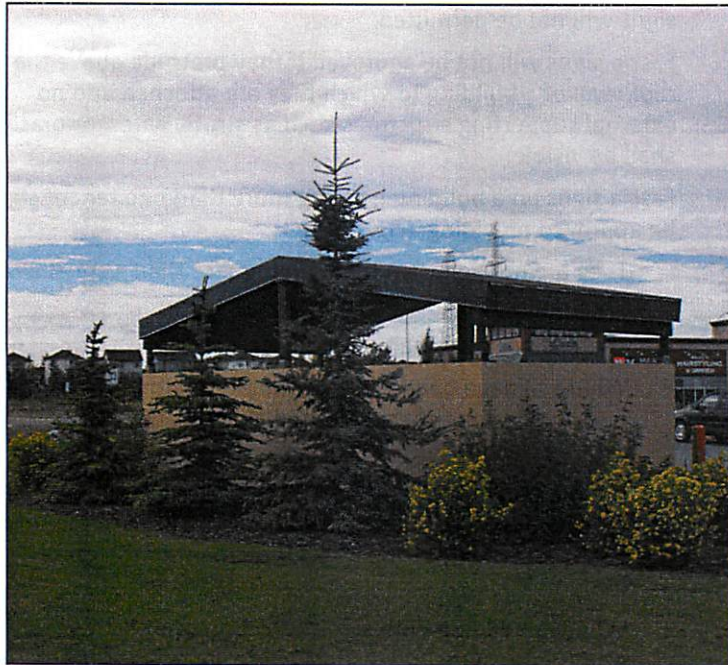


Fig. 64: Landscaping can help screen the back of buildings and mechanical boxes, blank walls and loading areas.



# Design Guidelines - Special Design Areas

## Town Centre

### 3.3.3.8 Signage

The control of signage along with landscaping creates the common elements within a quality streetscape.



Fig. 65: Signage and architectural elements will be designed to work together to minimize clutter and create effective streetscapes.

- Illuminated signs may be approved provided they do not flash or rotate.
- All signage must be approved and shall conform to the requirements of the *Land Use Bylaw* as well as noted below.
- All freestanding signage will conform to the established guidelines of the *Land Use Bylaw*.
- Buildings housing more than one tenant may have one free standing sign per building designed. No other free standing sign will be allowed.
- Where a building houses a single tenant, one free standing sign will be approved, providing that the design follows the established guidelines.
- General advertising signs, temporary and free standing roof signs will not be permitted.
- Fascia signs will not be approved if they protrude above the roof level of a building to which they are attached and no external supporting structures such as struts, wires, or braces shall be visible.
- Fascia signs on a building housing more than one tenant shall be approved providing: (Fig. 65)
  - They are no higher on the building face than 3.2m above the ground level;
  - There is no more than one sign per tenant;
  - Where signage bands are incorporated within the building designs, these bands shall be restricted to 760mm height.
  - No design shall rely on signage alone to distinguish individual entries. Signage shall only be used to identify a specific tenant, acting as a supplement to the entry design.
  - Where a building with significant frontage that two or more separate and distinct vehicular entrances are required, then additional and identical signs complying with the above requirements, will be allowed at the rate of one per entrance.



# Design Guidelines - Special Design Areas

## Town Centre

### 3-3-3.9 Outdoor Storage

- All outside storage areas must be located to the side or rear of the principal building
- All storage must be related to and be an integral part of the business or industry located on the site or adequately screened at the discretion of the Town of Chestermere. (Fig. 66)
- All storage areas must be screened from neighbouring sites and public streets.
- All garbage and waste material must be stored in weather proof and animal proof containers and screened from adjacent sites, public streets and principal buildings.
- Types of materials proposed for outside storage must be approved by the Design Review Committee.



Fig. 66: Effective storage design that reflects the adjoining building design.



# Design Guidelines - Special Design Areas

## Town Centre

### 3.3.3.10 Outdoor Display

Outside display areas are to reflect the general intent of these guidelines in order to be approved.

- Where outside display is permitted, it shall be limited to examples of equipment or items sold by the business or industry located on the site. (Fig. 67)
- All display areas for free standing equipment shall be paved and drained.
- Description of display or renderings, size, and site location must be provided to be considered for approval.

Fig. 67: Outdoor displays can activate a streetscape.





# Design Guidelines - Special Design Areas

## Town Centre

### 3.3-3.11 Lighting

To be approved, the lighting of buildings and surroundings in Chestermere Station is to be sufficient and consistent with other lighting in the development. (Fig. 68)

- No external lighting fixtures shall be higher than the closest building parapet height.
- Lighting shall be used to highlight only the area required to receive light. Light spillage, particularly onto Highway 1A (17 Avenue SE) and adjacent properties shall be avoided.
- Discretion will be used in approving lighting design, which incorporates flood lighting of large areas of the site.



Fig. 68: Goose Neck lighting system in Chestermere's Town Centre provides illumination only where necessary.



## Design Guidelines - Special Design Areas

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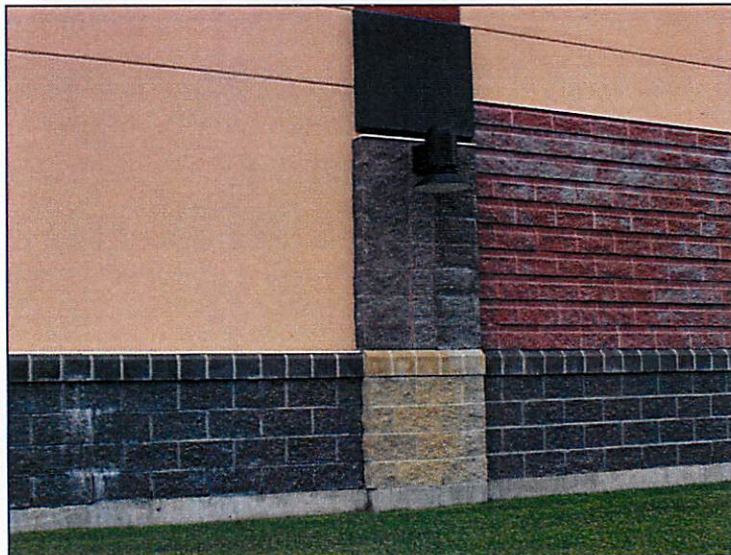
### Town Centre

#### 3-3.3.12 Materials

For approval, the choice and use of the materials in each project will be examined quite closely to ensure that the integrity of Chestermere Station is maintained.

- All buildings shall be faced with materials, which exhibit a durable permanent quality appearance. Materials shall not stain easily, either due to atmospheric conditions or when used in combination with other materials. Materials shall be of a low maintenance type, retaining a consistent clean appearance. (Fig. 69)
- All colours, materials and finishes shall be coordinated on all exterior elevations of the buildings to achieve total continuity of design.
- Colours proposed shall be a major consideration in design approval. All colour schemes must be submitted for approval and shall include samples of all finishes.
- If sloped roofs are used, they must be finished with durable materials.

Fig. 69: The effective application of materials creates a continuity of design and unifying elements.





# Design Guidelines - Special Design Areas

## 3.4 Residential Infill

### 3.4.1 Residential Infill Development

Residential infill development within areas designated “residential” shall generally be compatible with established land use pattern in terms of unit type, lot area, building size, and design. (Fig. 70)

Where conformity is not feasible or practical due to small lot size, lot configuration, inability to physically accommodate a public road, or other similar factor, other forms of housing may be considered provided that:

- The scale of the project is compatible with the surrounding area in respect of height;
- Views to and from the lakefront or the golf course are not significantly impacted;
- Densities are compatible with surrounding areas; and
- The community wide policies are met.

Infill development and redevelopment of sites and buildings through intensification will be considered based on conformity with the following criteria:

- The proposed development meets location criteria of the Municipal Development Plan;
- The existing hard infrastructure, including wastewater and water services, can support additional development;
- The required parking can be accommodated;
- The local road network can accommodate any additional traffic;
- Compliance with the *Land Use Bylaw*; and
- Compatibility with the existing development standards and physical character of the adjacent properties and the surrounding neighbourhood.



Fig. 70: New developments must complement the existing development patterns in Chestermere.



## Design Guidelines - Special Design Areas

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### Residential Infill

#### 3.4.1 Residential Infill Development (cont.)

Views are important to Chestermere residents, therefore infill development shall make special provisions to protect views to natural amenities like Chestermere Lake, the golf course or distant views by implementing: (Fig. 71)

- A higher level of architectural detail and refinement in the form and massing of the residential units;
- Careful placement of the buildings; and
- Sensitive lower profile landscaping.

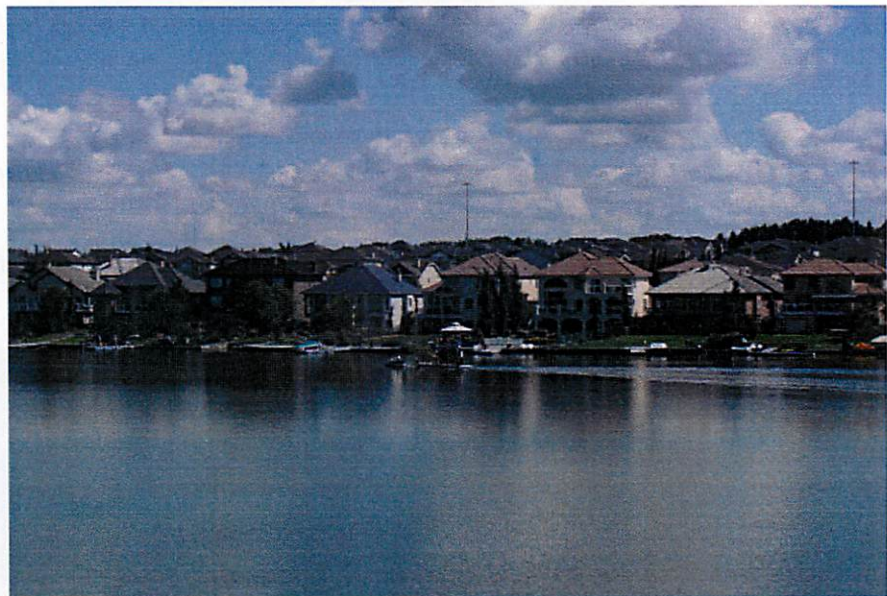


Fig. 71: The form and character of the Chestermere lakefront shall be retained with any infill development.



# Design Guidelines - Special Design Areas

## 3.4 Residential Infill

### 3.4.2 Lake-Edge Development

Chestermere Lake is an outstanding amenity in the Town and requires special attention, especially along its shoreline. As other water bodies may be developed over time, these guidelines shall also apply to them to further ensure that the lakefront, especially along its edges remains attractive and consistent.

The intent is to retain the natural quality of the waterfront and maximize views to the waterfront.

- Fences shall generally not be permitted along the shoreline.
- Driveways shall only be permitted at designated public launch points along the lake or as otherwise approved by the Town of Chestermere.
- Docks and boat lifts shall be approved by the Town of Chestermere and conform to specific *Land Use Bylaw* requirements so that these elements remain as understated as possible.
- Any improvements to the waterfront edge, including beach improvements and erosion control measures (e.g., retaining walls), shall use natural materials including stone, wood, and native plants. The waterfront improvements shall be designed in such a way that they are not intrusive on the natural flow of waterfront landscape and will not create a weed trap.
- Secondary buildings or storage sheds shall be designed of materials and colours that integrate with the shoreline in terms of form, massing, and materials.
- Permanent landscape structures such as gazebos and shelter structures over docks are not permitted on or near the water, in order to maintain the unobstructed natural shoreline look.

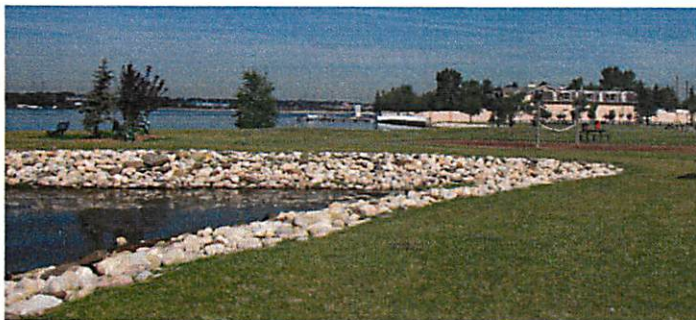


Fig. 72: Chestermere Lake's shoreline improvements maintain a generally natural look and treatment.





# Review and Approvals Process

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# 4.0



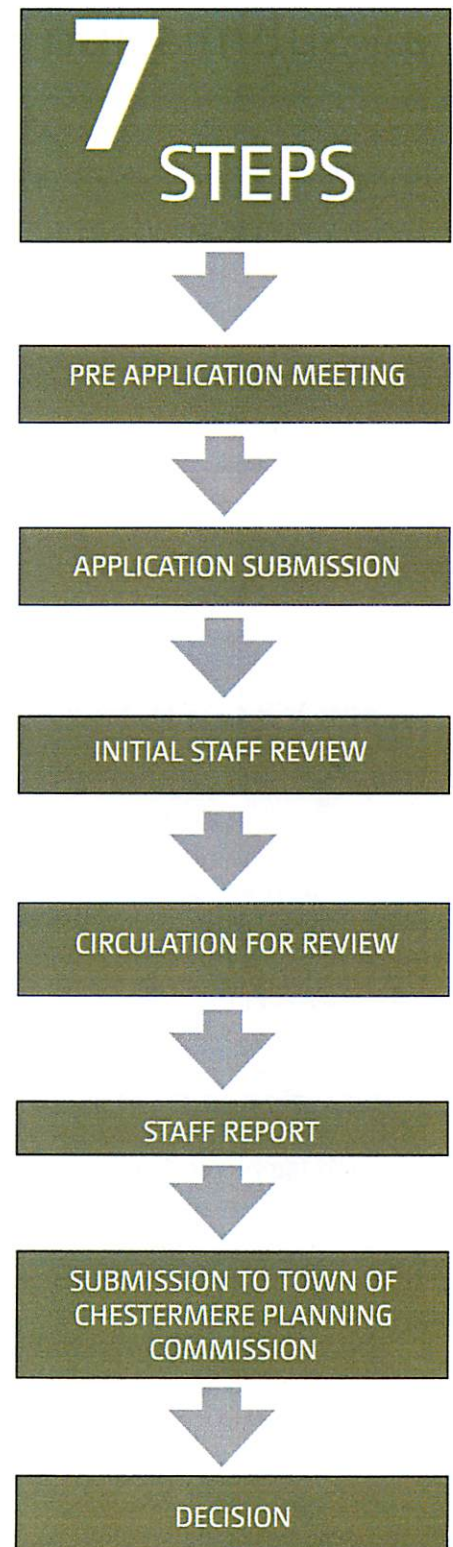


# Review and Approvals Process

## 4.0 Introduction

All developments will go through a consistent and rigorous approval process. The requirements for each submission vary but the process outlined below is presented for general purposes for the applicant to understand the general process requirements.

- Different requirements apply to **Subdivision Applications** and **Development Permit Applications**. The Subdivision Application process precedes the Development Permit process.
- Prior to detailed design submissions respecting Subdivision applications and the Development Permit Applications, applicants must apply separately for re-designation of land uses that may require a *Context Plan*, a *Master Area Structure Plan*, *Area Structure Plan* and/or an *Outline Plan* depending on the planning stage of the development project.
- In simplified form, the Subdivision Application and Development Permit Application processes each go through seven steps for approval:
  1. **Pre-application meeting** to clarify requirements, qualifications, and procedures (use checklist as guide);
  2. **Submission of application** (included in this book);
  3. **Staff review** for completeness and compliance with these Design Guidelines;
  4. **Circulation** to Internal Departments and Partner Agencies. Public works also reviews the Subdivision Application for compliance with Street Standards during this Step.
  5. **Staff Report** with recommendations for further refinements or approval;
  6. **Application Submission** to Town of Chestermere Planning Commission with formal review for compliance with these Design Guidelines; and
  7. **Decision**.





## Review and Approvals Process

# 4.1 Submission Requirements: Development Permit

### 4.1.1 Drawing Submissions

The following outline describes the content requirements as the applicant proceeds from Subdivision Application and Development Permit application through to Building Permit Approval.

Please refer to the specific Subdivision, Development Permit, and Building Permit applications for the complete list of requirements :

**1. Subdivision Application:**

A separate application is required to subdivide the land. The subdivision application includes legal documents necessary for subdivision in addition to a Legal Survey Plan of the property. The proposed subdivision illustrated on the Plan includes the proposed lots, public streets, and other public rights-of-ways. A street cross-section is also required.

**2a. Development Permit Application:**

A Development Permit application must be submitted with any intention to develop a site. Submission shall include details of the following: site planning showing building outlines, vehicular and pedestrian circulation, parking, loading and storage areas, illustrations or descriptions of architectural character and conceptual landscaping plans. All details shall indicate phasing or staging and shall pay particular attention to design relationships with adjacent property, pedestrian areas and streets. A Certificate of Title is required within 30 days of the application.

**b. Preliminary Design:**

Preliminary designs must be reviewed and approved before the commencement of final design drawings.

**c. Final Design:**

All applicants shall submit final design drawings which include: all statistical information relative to the project, all plans, sections and elevations, a site plan, finished grades, drainage and service connections, signage details, materials and colours including samples, and a landscape plan and specifications. Drawings shall also indicate the relationship of the proposed development to adjacent properties and streets. Final design drawings must be approved prior to application for a Development Permit.

**3. Building Permit Application:**

Construction drawings must be reviewed and approved with the Building Permit Application. Construction drawings shall conform to the approved Development Permit drawings.

## Questions?

*We encourage applicants to contact the Town of Chestermere regarding any enquiries related to these guidelines or control procedures.*

*Omission of any of the requirements will delay processing of the application as your application will be placed 'on hold' until all required information is received.*



# Review and Approvals Process

## 4.1 Submission Requirements: Development Permit

### 4.1.2 Development Permit Application Requirements

The following must be included in the submission package.

#### A Design Statement

The design statement must include:

A written summary of the submission inventory and analysis of the site; how the submission will enhance the character of Chestermere and adheres to the design guidelines; any specific areas where the guidelines are not met and/or an equivalency of treatment are provided; and rationale as to why or why not the submission has not met the guidelines. Finally, how the application will minimize impacts on adjoining neighbours or the greater neighbourhood (e.g., visual screening, landscape buffers, visual enhancements), and contribute to the improvement of Chestermere (e.g., amenities, features, and connections) must be explained.

#### Legal

The legal submission will include: Copies of Certificate of Title, restrictive covenants, utility right of ways, easements or Town caveats registered on title.

#### Plot Plan

The Development Permit submission will require a Plot Plan that will include the buildings, property lines, and other improvements. The Plot Plan also includes existing proposed guides, total lot area, new building area and lot coverage.

#### Permissions

A letter of authorization shall be required from the registered land owner, if different from the applicant.

#### Site Context Plan

The base for this Site Context Plan shall be an aerial photograph with the following information overlaid on the photograph: The site within the context of adjacent land uses, property lines, transportation corridors (streets, roads, highways, railway etc.), major utility corridors (gas, hydro, irrigation etc.), natural features (forests, woodland, geological, wetlands, etc), parks, and trail systems (municipal, provincial and federal), and land use district classification for adjacent uses.

**A Photo Board** will be required as part of the submission to include photographs of the adjoining uses, features, and character landscapes.

#### *PROFESSIONAL GUIDANCE:*

*All architectural design drawings shall be prepared and stamped by a registered architect .*

*All engineering drawings shall be prepared and stamped by a registered engineer.*

*All detailed landscape working drawings shall be prepared and stamped by a registered landscape architect.*



## Review and Approvals Process

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### 4.1 Submission Requirements: Development Permit

#### **Development Permit Application Requirements (cont.)**

##### **Site Plan**

This Site Plan shall show the location of all proposed buildings, structures and physical features, property lines, structures, and trees to be retained, proposed hard surfaces, proposed vehicular and pedestrian circulation including access and egress, all dimensions and setbacks, storm drainage facilities, service and mechanical areas, and sign locations.

##### **Landscape Plans**

The Landscape Plans shall include the following:

- The size, species, and locations of all plants, plant and materials that will be retained;
- Method of irrigation;
- Location and design of all hard surfaces;
- Parking layout and design;
- Location and type of exterior lighting;
- Screening of services, fencing, and other screening at property lines;
- Park space and open space design and programming;
- Private patio space design;
- Other amenity area design including trails, walkways, and community gardens; and
- Curb and hard surface details.

Further detailed sections are required to illustrate screening, fencing and associated planting along or near property lines, street sections including sidewalks, parking, tree planning, and any other sidewalk improvements, and any unique landscape hard materials details for structures on site.

##### **Landscape Cross-Sections**

Cross Sections shall illustrate :

- The profile of sloping driveways, specific elevations; and
- The impact that the proposed building(s) and streets will have on adjacent properties (can be combined with Landscape Plans).



## Review and Approvals Process

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### 4.1 Submission Requirements: Development Permit

#### Development Permit Application Requirements (cont.)

##### Architectural Floor Plans

Floor plans for each building will illustrate:

- The residential units;
- The commercial, business park or light industrial space uses;
- Indoor amenity spaces;
- The mechanical rooms, stairways, elevators, corridors, lobbies, washrooms, internal garbage storage areas; and
- Internal parking areas

##### Architectural Building Elevations

All building(s) sides shall be shown in elevation and indicate:

- All exterior building finishes, colours;
- Dimensions and heights of walls;
- Signage details;
- Garbage storage areas; and
- Internal parking.

**The Materials Board** will demonstrate all the primary and secondary building finishes and colours for the development.



1997

# Annual Report 1997

The Board of Directors

## Chairman's Report

Dear Shareholders,

I am pleased to

present to you the Annual Report for 1997.

The year has been

marked by significant changes in the

company's financial position and

operational performance.

## Financial Performance

The company's financial performance

has been strong, with

revenue increasing by

10% over the

previous year.

Profit before

tax has also increased by

15% compared to the



## 4.2 Design Summary Review

### Information Checklist

<b>A. Project Information</b>	
Project Name/Reference:	Development Permit Number:
Submission Date:	Re-Submission Date : (If applicable)
Project Location:	
Legal Description:	
Land Use District:	Classification:
<b>B. Contact Information:</b>	
Owner:	
Address:	Telephone:
Representative:	
Address:	Telephone:
Prime Consultant:	
Address:	Telephone:
All Contractors:	



## 4.2 Design Summary Review

### Submission Package Checklist

Are the following items included in the submission? If Not Applicable, please explain.

#### C. Development Permit Application Package Requirements

	1. Design Statement
	2. Legal
	3. Plot Plan
	4. Permissions
	5. Site Context Plan
	6. Photo Board
	7. Site Plan
	8. Landscape Plans
	9. Landscape Cross Sections
	10. Architectural Floor Plans
	11. Architectural Building Elevations
	12. Materials Board



## 4.2 Design Summary Review

### Guidelines: Summary Review

**A = Acceptable (meets requirements)**

**U = Unacceptable (does NOT meet requirements)**

Guidelines	A	U	Comments/Recommendations
<b>2.0 DESIGN FRAMEWORK &amp; FUNDAMENTALS</b>		<b>2.1 SITE ESSENTIALS</b>	
<b>2.1.1 SITE ANALYSIS AND SURROUNDING CONNECTIONS</b>			
Natural Features and Systems			
Land Use Context			
Existing Neighbourhood Character			
Weather Patterns & Solar Orientation			
Infrastructure			
Stormwater Design			
Recreation/Nature Connectivity			
<b>2.1.2 SITE DESIGN</b>			
Access			
Signage			
Parking Areas			
Storage & Delivery			
Site Interaction with street			
Parcel Edges			
Lighting			
Landscape Design			
Crime Prevention Through Environmental Design (CPTED)			



## 4.2 Design Summary Review

### Guidelines: Summary Review

Guidelines	A	U	Comments/Recommendations
<b>2.1.3 BUILDING DESIGN</b>			
Building Design			
Building Scale			
Building Orientation			
Building Materials			
<b>2.0 SITE ESSENTIALS</b>			
<b>2.2 GREEN INFRASTRUCTURE AND BUILDING FEATURES</b>			
2.2.1 Site Conservation			
2.2.2 Stormwater			
2.2.3 Water			
2.2.4 Energy			
2.2.5 Construction Waste/Materials			
2.2.6 Building and Site Design			
2.2.7 Trees and Vegetation			
2.2.8 Mobility and Land Use			
<b>3.0 DESIGN GUIDELINES</b>			
<b>3.1 MULTI-FAMILY RESIDENTIAL AREAS</b>			
3.1.1 General			
3.1.2 Building Form and Massing			
3.1.3 Exterior Building Finishes and Colour			

## 4.2 Design Summary Review

### Guidelines: Summary Review

Guidelines	A	U	Comments/Recommendations
<b>3.0 DESIGN GUIDELINES</b>			
<b>3.1 MULTI-FAMILY RESIDENTIAL AREAS (cont.)</b>			
3.1.4 Building Relation to Street			
3.1.5 Building Entrances			
3.1.6 Parking and Access			
3.1.7 Pedestrian Circulation			
3.1.8 Open Space, Parks and Amenity Areas			
3.1.9 Landscaping			
3.1.10 Signage			
3.1.11 Lighting			
3.1.12 Fencing and Screening			
3.1.13 Outdoor Storage			
3.1.14 Specific Guidelines (Duplex, Town-homes, and Stacked Townhomes)			
3.1.14.1 Site Planning and Parking			
3.1.14.2 Form, Massing, and Architectural Character			
3.1.15 Specific Guidelines (Low-Rise, Multi-Unit Residential)			
3.1.15.1 Site Planning and Parking			
3.1.15.2 Form, Massing, and Architectural Character			



## 4.2 Design Summary Review

### Guidelines: Summary Review

Guidelines	A	U	Comments/Recommendations
<b>3.0 DESIGN GUIDELINES</b>			
<b>3.2 COMMERCIAL, Mixed-use, BUSINESS PARK, AND LIGHT INDUSTRIAL AREAS</b>			
3.2.1 General			
3.2.2 Mixed-use			
3.2.3 Site Planning			
3.2.4 Building Form & Massing			
3.2.5 Exterior Materials/colour			
3.2.6 Landscaping			
3.2.7 Fencing & Screening			
3.2.8 Signage			
3.2.9 Outdoor Display			
3.2.10 Lighting			
3.2.11 Pedestrian Amenity, Planning & Design			
3.2.12 Road Interface, Loading, Storage, Parking			
2.2.13 Land Use Transition			
<b>3.3 SPECIAL DESIGN GUIDELINE AREAS</b>			
<b>3.3.1 GATEWAYS</b>			
3.3.2 Special Streets, Pedestrian Design, & Engineering Standards			



## 4.2 Design Summary Review

### Guidelines: Summary Review

Guidelines	A	U	Comments/Recommendations
<b>3.0 DESIGN GUIDELINES</b>		<b>3.3 SPECIAL DESIGN AREAS (cont.)</b>	
<b>3.3.3 CHESTERMERE SQUARE TOWN CENTRE</b>			
3.3.4 Control Procedures			
3.3.5 Development Design Criteria			
3.3.6 Special Development Design Criteria			
3.3.7 Coverage, Setbacks, & Heights			
3.3.8 On-Site Parking & Loading			
3.3.9 Landscaping			
3.3.10 Fencing & Screening			
3.3.11 Signage			
3.3.12 Signage			
3.3.13 Outdoor Storage			
3.3.14 Outdoor Display			
3.3.15 Lighting			
3.3.16 Materials			
<b>3.4.1 RESIDENTIAL INFILL</b>			
<b>3.4.2 LAKE-EDGE DEVELOPMENT</b>			



## 4.2 Design Summary Review

### Guidelines: Summary Review

Office Use Only: ( Overall Recommendations, Approved/Not Approved)

Guidelines	A	U	Comments/Recommendations
<b>OVERALL EVALUATION</b>			
Completeness of Submission			
Sensitivity to Site Context			
Connections to Site Context			
Street Design			
Building Design			
Parking Design			
Landscape Design			
FIT with Chestermere Character			
Community Enhancements			
Community Amenity Contributions			
Overall Quality of Design			
Outstanding Elements:			

# 5.0



## Glossary of Terms

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**Built-form:** Consists of buildings and structures that represent the three dimensional man-made components of urban design.

**Business Park:** Uses include those permitted under the *Land Use Bylaw* normally including office and warehouse related uses.

**Commercial:** Uses that include those permitted under the *Land Use Bylaw*, normally including retail, office, and related uses.

**Community:** A group of people living in a particular locality, share government, and often have a common cultural and historical heritage. Normally, a community can consist of several smaller neighbourhoods and represents a sector of the Town or larger community.

**Concept:** A general notion or idea that creates the basis for further detailed design.

**Connections:** The linkages within the community that bring together and move pedestrians, bicycles, vehicles, etc. from one area to another.

**Council:** The Council of the Town of Chestermere, also referred to as “Town Council”.

**Context Plan:** This Context Plan provided a framework for development at the initial stage of planning where a large site requires an examination of the fundamental objectives and principles that shall direct develop in context of the surrounding land uses, Municipal Development Plan policies, other associated Town of Chestermere documents as well as Provincial and Federal policies.

**CPTED:** An acronym for Crime Prevention Through Environmental Design and are design measures to reduce crime and increase safety and security. ie. transparency, visibility.

**Density:** The number of dwelling units on a site expressed in dwelling units per acre (u.p.a) or units per hectare (u.p.ha). Density can also be expressed by floor area ratio (FAR) or in some jurisdictions (FSR) Floor Space Ratio. FAR means the quotient of the gross floor area of a building divided by the gross site area. FAR is one of the ways to control the size/density of a building in relation to the size of the parcel of land it occupies. The building may also be regulated by building setbacks (i.e. front yard, side yard and rear yard), building height, site/lot coverage/landscaping, parking and others, depending on different land use districts.

**Development Authority:** The Development Officer of the municipality or other body who approves development by administering the *Land Use Bylaw* for development applications as the context provides.

**Development Permit:** A document authorizing a development, issued by a Development Officer pursuant to the *Land Use Bylaw*, or any previous Bylaw or other legislation authorizing development within the Town of Chestermere, and includes the plans and conditions of approval.

**Direct Control or Comprehensive Development District:** Direct Control refers to a land use area that requires additional consideration and sensitivity to the future use and development of land or buildings within this area.

# Glossary of Terms

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**District:** An area identified by a distinguishing feature such as land use, heritage, cultural and/or any other significant characteristic.

**Enhancement:** To augment an area, street or open space in quality, value, beauty, or effectiveness.

**Gateway:** An urban design feature or area that provides visual identification, access, direction and/or celebration of the community for those entering.

**Infill Development:** Development occurring on a site or lot that is located within an established or full-built area.

**Landmark:** A building, structure such as bridges, memorials, public art; and/or landscapes that have a special historical, architectural or cultural significance.

**Landscaping (soft and hard):** The modification and enhancement of a site through the use of any or all of the following elements:

- Soft Landscaping consisting of vegetation such as trees, shrubs, hedges, grass and ground cover;
- Hard Landscaping consisting of non-vegetative material such as brick, stone, concrete, tile wood or other material; and
- Architectural elements consisting of public art, gazebos, and other landscape structures.

**Land Use Bylaw (Zoning Bylaw):** The Bylaw establishes procedures to process and decide upon Land Use Amendment and Development applications and divides the Town of Chestermere into Land Use Districts or Zones. It sets out the rules that affect how each piece of land in the Town may be used and developed. It also includes the actual Land Use District maps.

**Land Use District (Zone):** An area of the Town designated for particular uses contained in the *Land Use Bylaw*.

**Light Industrial:** Uses permitted under the *Land Use Bylaw* normally including industrial uses that have little or no associated environmental impacts.

**Master Area Structure Plan:** The Master Area Structure Plan (MASP) outlines the goals, objectives, and policies that will direct a specific development within the context of the Municipal Development Plan (MDP) and other associated higher level documents.

**Mixed-Use Development:** The development of land, a building or a structure with two or more different uses in a compact form, such as residential, office, and retail.

**Mode:** A method of travel. Examples include walking, cycling, transit and vehicular.

**Mass/Massing:** The arrangement of the bulk of a building on a site and its visual impact in relation to adjacent buildings.

**Multi-family residential:** Refers to the multi-dwelling (family) land use areas. These areas, which include but not limited to duplexes, triplexes, townhouses, row houses but excluding semi-detached, are intended to serve the community by providing intensification of residential to increase populations which support amenities and transportation modes. Multi-family areas shall be sensitively-integrated and designed. Where policy directs, multi-family residential may be designed in conjunction with other uses such as commercial and then designated mixed-use developments.

**Municipal Development Plan:** The Municipal Development Plan (MDP) outlines the overall goals, objectives, and policies to direct land use and development within the Town of Chestermere.

**Neighbourhood:** An area that is primarily residential and/or primarily residential/mixed-use. Each neighbourhood is planned to be primarily residential with considerations for supporting land uses, movement systems, public realm and design, and amenities that would achieve complete and integrated neighbourhoods.

**Neighbourhood Node:** A place within a neighbourhood at which an activity or complex of activities takes place to meet local needs and foster a “sense of place” or unique identity for the neighbourhood. Components of the neighbourhood node may include the basic needs of open spaces, grocery, health, community association facilities, childcare and seniors amenities, and transit.

**Open Space:** Refers to an area or place that is open and accessible to all citizens, regardless of gender, race, ethnicity, age or socio-economic level. Open space refers to the public realm (streets/sidewalks, etc.), parks, urban plaza’s, etc.

**Outline Plan:** This detailed planning and design plan provides the land uses, streets, building footprints, landscaping, other infrastructure, recreation, and amenity components of the development.

**Pedestrian-oriented or Pedestrian-friendly:** An environment designed to make movement (on foot or by wheelchair) attractive and comfortable for various ages and abilities (i.e. visual and hearing-impaired, mobility-impaired, developmentally-challenged, situationally-impaired). Considerations include separation of pedestrian and vehicular circulation, building scale and street walls, street furniture, clear directional and informational signage, safety, visibility, shade, lighting, surface materials, trees, sidewalk width, prevailing wind direction (canopies), intersection treatment, curb cuts, ramps and landscaping.

**Pedestrian-scale/human-scale:** Refers to the scale (height/proportions) and comfort level that the street level and lower storeys of a building provide for the pedestrian as they walk alongside a building(s).

**Promenade:** A formally designed pedestrian-priority walkway along the lakefront that includes a walkway, urban features such benches, garbage disposal and pedestrian-scale lighting, etc.

# Glossary of Terms

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**Public Realm:** The area of space in the urban environment that is between the built-form. The public realm consists of three different domains:

**Public Domain:** Consists of all publicly-owned streets, sidewalks, rights-of-ways, parks and other publicly-accessible open spaces, and public and civic buildings and facilities;

**Semi-private Domain:** Consist of the space between a building facade and a public sidewalk as well as any private spaces that may be accessible to the public such as enclosed atriums/galleries, etc. Semi-private space ties together the public realm connections (streets, sidewalks, etc.) and built-form in a comprehensive and connected public realm; and

**Private Domain:** Consists of private space or buildings that are visually incorporated into the public realm and allows for limited or no physical access to the public.

**Quality (High):** Quality refers to character with respect to fineness, or grade of excellence.

**Redevelopment:** Rebuilding of an urban residential, commercial, or other land use area that is in decline or in need of a new vision and policy direction.

**Rurban:** A combination of urban and rural development patterns set in a rural context. This kind of development normally combines urban densities in a rural setting with the retention of significant open space. Sometimes this technique is referred to as Cluster Development or Transfer of Development Rights.

**Setback:** An area measured as a distance from a public right-of-way (ROW) or private lot line restricting building development in this area.

**Shall:** Where “shall” is used in a policy, the policy is considered mandatory. However, where actual quantities or numerical standard are contained within a mandatory policy (for example, density policies), the quantities and standards may be deviated from provided that the deviation is necessary to address unique circumstances that will otherwise render compliance impractical or impossible, and the intent of the policy is still achieved.

**Sidewalk:** Principally used for pedestrians and located to the side of a carriage-way within a road right-of-way.

**Single-Family residential:** Refers to the primarily single-dwelling areas. These areas are intended to serve the traditional single-family dwelling needs of the community and Town while providing an opportunity for sensitively-integrated infill development. It is the intent of these areas to support intensification for the purposes of enhancing the single-dwelling areas while not impacting the quality of a primarily single-dwelling residential area.

**Smart Growth:** Refers to land use, development practices and the efficient use of tax dollars to enhance the quality of life, preservation of the natural environment, saving money over time by limiting costly urban sprawl, and creating more livable and vibrant neighbourhoods.

## Glossary of Terms

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**Streetscape:** All the elements that make up the physical environment of a street and define its character. This includes paving, trees, lighting, building type, style, setbacks, pedestrian amenities and street furniture.

**Special Design Areas:** Includes gateways, Chestermere town Centre, streets, residential infill, and lake-front areas.

**Suburban Retrofit:** This emerging trend in urban design redevelops existing suburban development that is aging, can infill additional density, and various other land uses.

**Sustainable development:** Refers to a pattern use that aims to meet human needs while conserving the environment so that these needs can be met not only in the present, but in the future. The three areas of sustainable development consist of: environmental sustainability, economic sustainability and social sustainability representing a more holistic approach.

**Traffic Calming:** The combination of mainly physical measures that reduce the negative effects of motor vehicle use, alter driver behavior and improve conditions for non-motorized street users. Typical devices include street narrowing, traffic circles, curb extension (bulges), diverters, and speed humps.

**Trails:** The term used to represent the pathways and sidewalks that are designated for pedestrian and bicyclists that are generally for recreation purposes.

**Transit:** Refers to all components (i.e. type of transit, routes, schedules, etc.) of providing transit to the residents, workers and tourists.

**Universal Access:** Designing the built environment to be usable to the greatest extent possible by everyone, regardless of their age, ability, or status in life.

**Urban Design:** Urban design is the process by which cities, towns, and villages are planned, designed, and built.

**Urban Edges:** Refers to areas that have the potential for urban development versus a natural state. Such development might be promenades, plazas, commercial uses, etc.

**Wayfaring:** Refers to traveling, especially by foot and the graphic information that provides direction, and orientation and interpretation of place for such a journey.

**Xeriscaping:** Refers to environmental design of residential and park land using various methods for minimizing the need for water use.

**Yard:** That portion of a site which is not covered by a building.